

GENERAL NOTES

EACH CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND AT THE START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL CODES AND REGULATORY AGENCIES HAVING JURISDICTION IN THIS AREA. IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT REQUIREMENTS OF THIS CONTRACT CONFLICT WITH, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, HE SHALL NOT PROCEED WITH WORK IN QUESTION, EXCEPT AT HIS OWN RISK, UNTIL THE ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE SUCH WORK WITH ALL NEW COMPLYING WORK AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.

ALL SECTIONS, DETAILS, MATERIALS, AND METHODS SHOWN AND / OR NOTED ON ANY SHEET SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE. NO CONTRACTOR HAS THE AUTHORITY TO PERMIT THE USE OF ANY PORTION OF THE SITE OR BUILDING TO ANYONE, EXCEPT FOR BUSINESS CONNECTED TO THE CONSTRUCTION WITH WHICH THIS CONTRACT IS CONCERNED.

DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FINISH FACE OF STUD, MASONRY OR CONCRETE TO FACE OF STUD, MASONRY, AND CONCRETE OR GRIDLINES UNLESS OTHERWISE NOTED.

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.

ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.

THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, DESIGN REVIEW FEES, AND ALL OTHER FEES, AND INSPECTIONS REQUIRED BY LOCAL, STATE, AND FEDERAL AGENCIES.

FINISH FLOOR ELEVATIONS ARE AS ESTABLISHED DATUM LINE, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICE NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.I.C.) OR (O.F.O.I.). ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS AND THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL BE RESPONSIBILITY FOR COORDINATION WITH THE ARCHITECTURAL, STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANT'S WORK AND TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO EXPENSE TO THE ARCHITECT, HIS CONSULTANTS OR THE OWNER.

IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING WITH THE WORK.

ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.

CONTRACTORS PERFORMING WORK ON THE PREMISES SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM INCLUDING BUT NOT LIMITED TO THE ISOLATION OF WORK AREAS AND THE PROMPT REMOVAL OF ANY DEBRIS OR TOOLS, WHICH MIGHT ENDANGER VISITORS, AND STAFF OF THE OWNER OR ARCHITECT.

ALL TRENCHES OR EXCAVATIONS IN EXCESS OF 5' IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, SHALL COMPLY WITH ALL OSHA, STATE AND LOCAL REQUIREMENTS.

THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACINGS, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR MOUNTED OR CEILING SUSPENDED EQUIPMENT. ALL WOOD BLOCKING / NAILERS SHALL BE PRESSURE TREATED WHEN IN CONTACT WITH CONCRETE OR MASONRY.

CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING.)

ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY THE BUILDING CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL COORDINATE SIZE, LOCATION AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK AND SHALL RECEIVE APPROVAL FROM THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHOUT THE EXPRESSED APPROVAL OF THE ARCHITECT.

WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE TO MAKE CORRECTION AND/OR CONNECTION, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER AND UTILITY COMPANY. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER AND UTILITY COMPANY. IN THE EVENT THE UTILITY SERVICE IS INTERRUPTED WITHOUT THE REQUIRED 48 HOURS' NOTICE, THEN THE CONTRACTOR SHALL BE FINANCIALLY LIABLE FOR ALL DAMAGES SUFFERED BY THE OWNER DUE TO THE UNAUTHORIZED INTERRUPTION. RECONNECTION SHALL BE MADE IMMEDIATELY.

THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF WATER, ELECTRICAL, GAS, TELEPHONE AND CABLE TELEVISION COMPANIES TO VERIFY AVAILABLE FACILITIES AND IF APPLICABLE TO ESTABLISH TEMPORARY FACILITIES.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICES CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT, AND OR RELOCATION OF EXISTING UTILITIES ABOVE OR BELOW GRADE WITH THE RESPECTIVE UTILITY COMPANIES.

THE CONTRACTOR SHALL PROVIDE TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY OSHA AND LOCAL CODE WHERE THE CONSTRUCTION ENCROACHES A PEDESTRIAN WAY.

THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKERS USE. EXISTING FACILITIES SHALL NOT BE USED.

ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE, OF QUALITY SPECIFIED, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK.

THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING COURSE OF CONSTRUCTION AND SHALL REPLACE AND OR REPAIR ALL DAMAGED SURFACES CAUSED BY CONTRACTOR OR SUBCONTRACTOR PERSONNEL TO THE SATISFACTION OF THE OWNER AND ARCHITECT.

CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO PERTAINING FEDERAL STATE AND LOCAL LAWS, REGULATION AND ORDERS. UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS. CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES.

SUBSTITUTIONS: REFERENCE TO MAKERS, BRAND, MODELS, ETC. IS TO ESTABLISH THE TYPE AND QUALITY DESIRED. SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED IF APPROVED BY THE ARCHITECT AND OWNER PRIOR TO BID (UNLESS NOTED OTHERWISE).

THE ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR THE DESIGN FOR THIS PROJECT WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH INTENT OF THE DESIGN.

INSTALLATION OF FIRE ALARM SYSTEM, AUTOMATIC FIRE SPRINKLER SYSTEM AND STANDPIPE SYSTEM SHALL NOT BE STARTED UNTIL DETAIL PLANS, SPECIFICATIONS AND ENGINEERING CALCULATIONS HAVE BEEN ACCEPTED BY THE ARCHITECT AND OR PROFESSIONAL ENGINEER WHO HAS RESPONSIBILITY COVERING THE WORK SHOWN ON PLANS OR SPECIFICATION AND APPROVED BY STATE AND LOCAL AUTHORITIES.

SHOP DRAWING SENT TO THE ARCHITECT THAT HAVE NOT BEEN REVIEWED BY THE CONTRACTOR AND NOT BEARING THE SHOP DRAWING STAMP AND SIGNATURE OF THE CONTRACTOR WILL BE RETURNED TO THE CONTRACTOR NOT REVIEWED. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL EQUIPMENT AND MATERIALS WHICH MUST INTERFACE AND COORDINATE WITH OTHERS, WHETHER DETAILED OR NOT. SHOP DRAWINGS SHALL BE SUBMITTED IN A MINIMUM OF 3 COPIES AND ONE TRANSPARENCY. BROCHURES IN NOT LESS THAN 4 COPIES.

TEMPORARY FACILITIES: THE CONTRACTOR SHALL PROVIDE A STAGING AND MATERIAL STORAGE AREA OF CONSTRUCTION. LOCATION SHALL BE COORDINATED WITH THE OWNER. THE CONTRACTOR SHALL MAKE NECESSARY CONNECTIONS TO EXISTING UTILITIES FOR TEMPORARY POWER AND WATER SUPPLIES, AND SHALL COORDINATE SUCH USE WITH THE OWNER PRIOR TO CONNECTION. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES TO SEPARATE CONSTRUCTION AREAS FOR PUBLIC SAFETY AROUND ENTIRE PERIMETER OF CONSTRUCTION AREA. THE CONTRACTOR SHALL PROVIDE A BLANKET ONE (1) YEAR GUARANTEE OF THE CONTRACT PROJECT WITH SEPARATE GUARANTEES AS SPECIFIED FOR TRADES/EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE PROVIDE OPERATING MAINTENANCE BROCHURES AND GUARANTEES AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF AS-BUILT DRAWINGS INDICATING ALL DISCREPANCIES, CHANGES, ETC. AND ACTUAL LOCATIONS OF CONCEALED WORK TO THE OWNER AT THE COMPLETION OF WORK PRIOR TO FINAL PAYMENT. CHANGES MUST BE SHOWN ON A CLEAN SET OF CONSTRUCTION DRAWINGS IN RED INK.

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CODE REVIEW DATA

APPLICABLE BUILDING CODE:

- 2015 INTERNATIONAL BUILDING CODE
- 2018 KENTUCKY BUILDING CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2009 ENERGY CONSERVATION CODE
- 2013 KENTUCKY PLUMBING CODE
- NFPA TO NATIONAL ELECTRICAL CODE
- ICC 117.1-2009 ANSI ACCESSIBLE STANDARDS

USE GROUP CLASSIFICATION / OCCUPANCY:

S-1 MODERATE-HAZARD STORAGE

BUILDING OCCUPANCY:

AREA USE STORAGE 1:300 S F	25,897 S F	86
TOTAL OCCUPANCY		86

CONSTRUCTION CLASSIFICATION:

II-B NON COMBUSTIBLE UNPROTECTED

ALLOWABLE BUILDING AREA:

BASE AREA FROM TABLE 506.2	00,000 S F
OPEN PERIMETER INCREASE 506.3	00,000 S F
TOTAL:	00,000 S F

ACTUAL BUILDING AREA:

EXISTING	8,447 S F
ADDITIONS	20,025 S F
TOTAL:	28,472 S F

ALLOWABLE BUILDING HEIGHT:

* USE GROUP (TABLE 504.3 AND 504.4) 2 STORIES 55 FT

ACTUAL BUILDING HEIGHT:

1 STORY 22'-7" FT

FIRE SUPPRESSION:

THE ENTIRE BUILDING SHALL BE PROTECTED WITH A SPRINKLER SYSTEM IN ACCORDANCE WITH KENTUCKY BUILDING CODE 907 AND NFPA 13.

SPECIAL INSPECTIONS:

PROVIDE SPECIAL INSPECTIONS AS REQUIRED BY KBC 2018 CHAPTER 1 AND SECTION 1704.

SEE STRUCTURAL GENERAL NOTES

CONTRACTOR SHALL PROVIDE SUMMARY REPORTS OF SPECIAL INSPECTIONS AT COMPLETION OF PROJECT. THE FINAL LETTER SHALL INDICATE ALL INSPECTIONS THAT WERE COMPLETED, BY WHOM, RESULTS, AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS. REPORTS SHALL BE SUBMITTED TO THE OWNER, THE ARCHITECT AND DESIGN PROFESSIONAL REQUESTING THE SPECIAL INSPECTION (SECTION 1704.1.2, 2013 KBC)

ARCHITECT

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OWNER

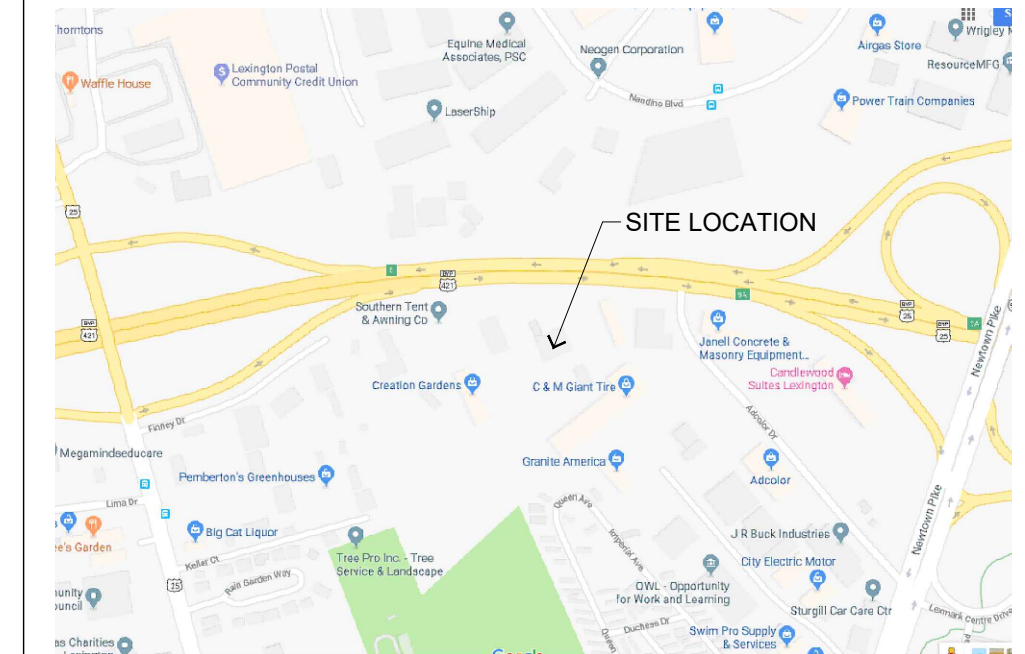
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CONSULTANTS

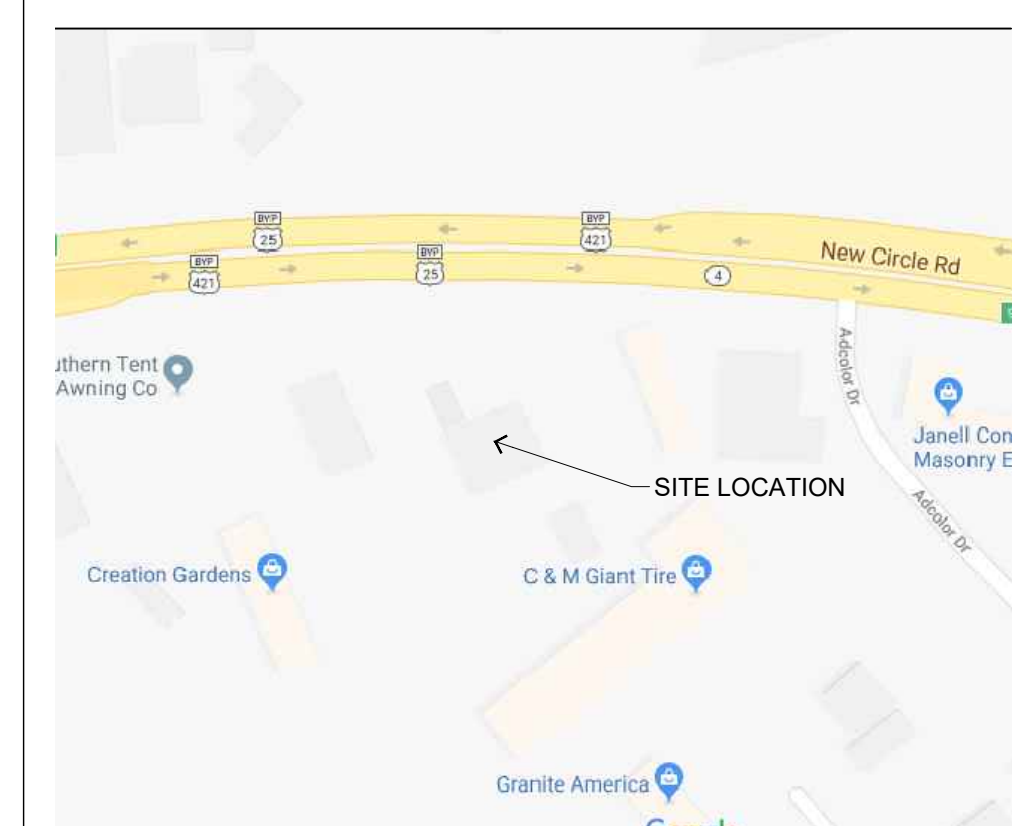
DRAWING INDEX

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A501	DETAILS

VICINITY MAP



LOCATION MAP



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COVER SHEET

project no.
1804

date
05.02.19

drawn by
JP

chk'd by
RB

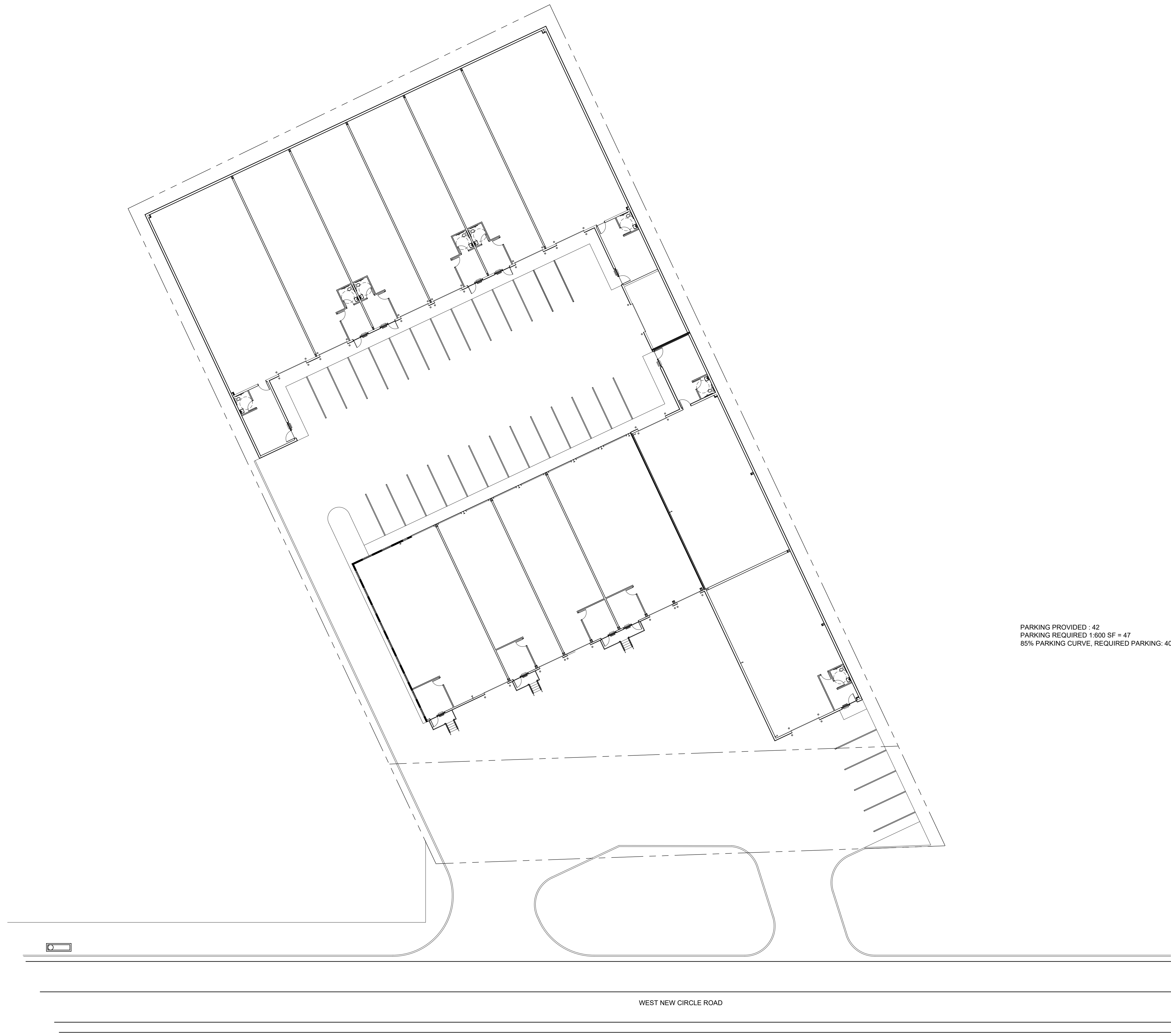
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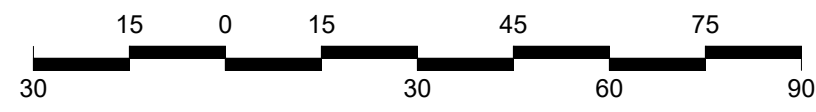
CVR

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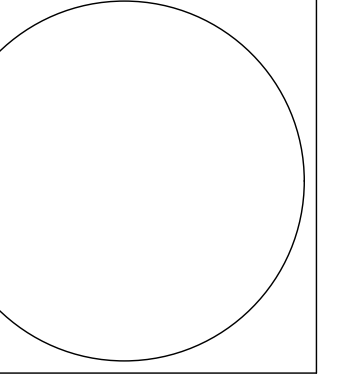
PARKING PROVIDED : 42
PARKING REQUIRED 1:600 SF = 47
85% PARKING CURVE, REQUIRED PARKING: 40



SITE PLAN

1" = 20' SCALE

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SITE PLAN

project no.
1804

date
04.22.19

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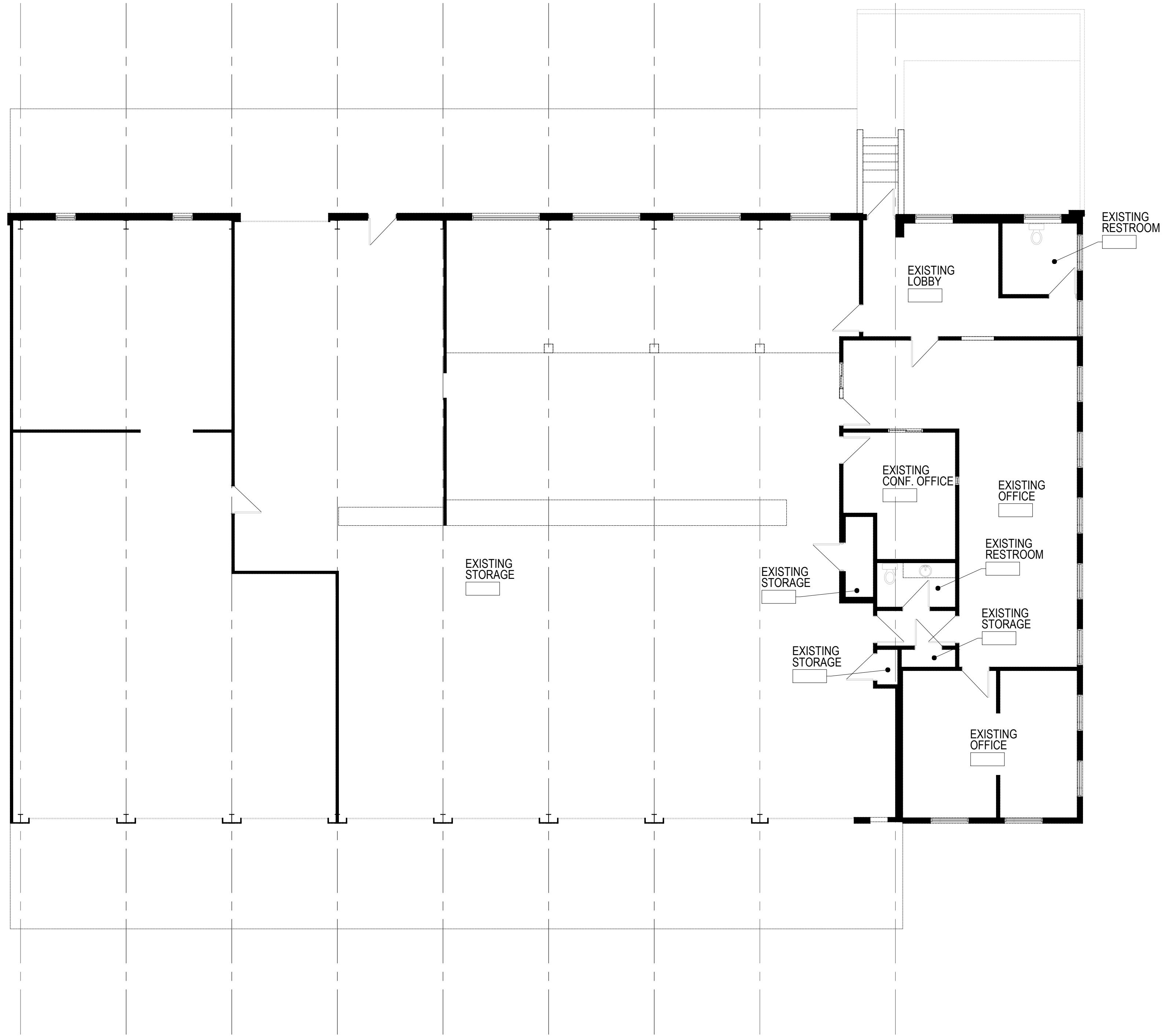
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EXISTING FLOOR PLAN

1/8" = 1'-0" SCALE

EXISTING FLOOR PLAN

project no.
1804

date
03.10.20

drawn by
JP

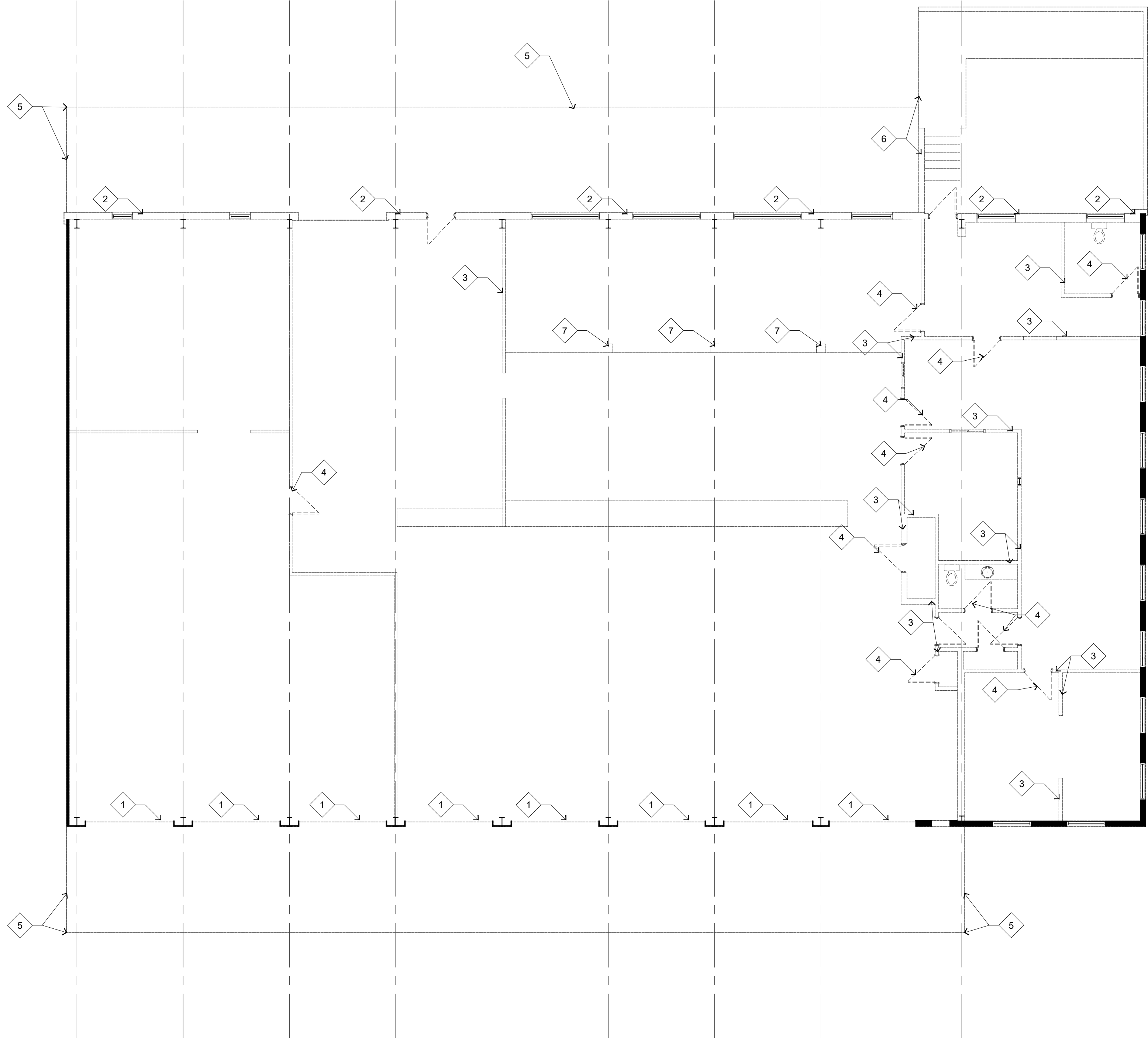
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GENERAL NOTES DEMO

DEMOLITION KEY NOTES ARE GENERAL FOR SPECIFIC AREAS AND MAY NOT COVER ALL DEMOLITION WORK REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK REQUIRED TO COMPLETE THE DEMOLITION WORK WHETHER SPECIFICALLY INDICATED OR NOT. THIS DEMOLITION PLAN/DRAWING WAS CREATED FROM EXISTING WORKING DRAWINGS AND ARE INTENDED TO SHOW THE GENERAL CONDITION WHICH IS EXPECTED TO OCCUR. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, CABINETRY, FINISHES, PARTITIONS, OR ANY OTHER NONSTRUCTURAL ITEMS MAY PROCEED AS INDICATED. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SALVAGE OF REUSABLE BUILDING FIXTURES, MATERIALS, FURNISHINGS, DOORS, AND MISCELLANEOUS EQUIPMENT. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS WITH DASHED LINES.

REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES AND INFORMATION.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL, OTHER TENANTS AND THE GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK. THE CONTRACTOR SHALL COMPLY WITH OSHA STANDARDS AND COMMON PRACTICE TO ENSURE PROTECTION OF ALL PEOPLE IN THE AREA OF WORK.

THE CONTRACTOR SHALL ENSURE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTINUING OCCUPATION OF ADJACENT OPERATIONS WITHIN THE STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED TO THE SELECTIVE DEMOLITION OF PARTITIONS, ELECTRICAL AND MECHANICAL SYSTEMS. THE CONTRACTOR SHALL INFORM THE OWNER OF A MINIMUM OF 72 HOURS OF DEMOLITION ACTIVITIES THAT WILL AFFECTIVE NORMAL OPERATION OF BUILDING. THE CONTRACTOR SHALL REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.

THE CONTRACTOR SHALL CONSULT WITH A STRUCTURAL ENGINEER PRIOR TO CUTTING INTO ANY STRUCTURAL ELEMENT OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REINFORCING, SHORING AND SUPPORT TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING.

PRIOR TO INSPECTION OF THE EXISTING FACILITY, THE CONTRACTOR MUST RECEIVE PERMISSION FOR SITE ACCESS FROM THE OWNER OR THE DESIGNATED REPRESENTATIVE.

AT ALL AREAS OF DEMOLITION AND NEW CONSTRUCTION, THE CONTRACTOR SHALL PATCH AND REFINISH EXISTING WALLS, FLOORS, AND CEILINGS AS REQUIRED TO MATCH ADJACENT MATERIALS AND FINISHES.

REMOVE DEBRIS, RUBBISH AND OTHER BUILDING MATERIALS NOT TO BE REUSED FROM THE SITE ON A REGULAR BASIS. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE.

IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION THE CONTRACTOR SHALL STOP WORK IN THAT AREA, CONTACT THE OWNERS REPRESENTATIVE AND THE ARCHITECT FOR ADDITIONAL INSTRUCTIONS BEFORE PROCEEDING WITH ANY ADDITIONAL WORK IN THAT AREA.

SHEET NOTES

1. REMOVE EXISTING OVERHEAD DOOR & CLOSE OPENING WITH 6" METAL STUDS W/ 3/8" GYPSUM BOARD AND 1 1/2" METAL SIDING MATCH EXISTING.
2. REMOVE THE ENTIRETY OF THE EXTERIOR NORTH FACE DOWN THE MAINFRAME.
3. REMOVE EXISTING WALL & ITS ENTIRETY
4. REMOVE EXISTING DOOR
5. REMOVE EXISTING CANOPY BACK TO FACE OF EXISTING BUILDING & REFINISH REMOVED AREA
6. REMOVE EXISTING STAIRS AND SIDEWALK
7. REMOVE EXISTING INTERIOR COLUMNS AND STORAGE SPACE ABOVE

DEMO PLAN

1/8" = 1'-0" SCALE

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DEMOLITION PLAN

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1804

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drawn by JP	ch'k'd by RB
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sheet no.
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GENERAL NOTES FLOOR PLAN

ALL DIMENSIONS ARE FROM TO FACE OF METAL STUDS/MASONRY TO FACE OF METAL STUDS/MASONRY U.N.O.
 DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT/OWNER'S REPRESENTATIVE BEFORE PROCEED WITH THE WORK.
 ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR CONDITIONS AND LOCATIONS UNLESS NOTED OTHERWISE.
 ALL EXTERIOR WALL METAL STUDS SHALL BE 8" - 16 GAUGE METAL STUDS @ 16" O.C. U.N.O.
 ALL INTERIOR METAL STUDS SHALL BE 3 5/8" @ 24" O.C. U.N.O. SEE GAUGE GUIDE BELOW & WALL TYPE'S LEGEND THIS SHEET.
 ALL GYPSUM WALL BOARD SHALL BE 5/8" PROVIDE FIRE CODE WHERE NOTED OR INDICATED BY WALL TYPES.
 PROVIDE GYPSUM BOARD CONTROL JOINTS IN INTERIOR WALL, COORDINATE LOCATION OF INTERIOR CONTROL JOINTS WITH JOINTS IN EXTERIOR WALL AND AS RECOMMENDED BY USG CONSTRUCTION HANDBOOK AND COMMON PRACTICE.
 THE CONTRACTOR SHALL PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ACCESSORIES.
 GYPSUM WALL BOARD ON REST ROOM WET WALLS SHALL BE WATER RESISTANT GYPSUM WALL BOARD.
 CONCEAL ALL PIPING IN WALLS. WHERE PIPING WILL NOT FIT IN WALL CAVITY FUR OUT WALL MINIMUM TO CONCEAL PIPING.
 REFER TO DOOR SCHEDULE, DETAILS AND SPECIFICATIONS FOR DOOR, DOOR FRAME AND DOOR HARDWARE REQUIREMENTS.
 DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL AS SHOWN OR LOCATED 4" FROM NEAREST WALL FINISH TO FINISH OF JAMB OPENING UNLESS NOTED OTHERWISE.
 ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED (PT) WITH AN APPROVED WOOD PRESERVATIVE.
 REFER GENERAL NOTES ON SHEET C3V FOR ADDITIONAL NOTES.
 EXPOSED BATT INSULATION AND FACING IN ATTIC AND WALL CAVITY SHALL HAVE A FLAME SPREAD INDEX OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
 ALL DISSIMILAR METALLIC MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.
 REFER TO FINISH SCHEDULE FOR TYPE OF PAINT FINISHES, METAL FINISHES CEMENT FINISHES, WEATHER AND SOUND SEALANTS.

SHEET NOTES

1. MBM METAL BUILDING PANELS.
2. 144" x 144" SECTIONAL METAL OVERHEAD DOOR (INSULATED).
3. 36" x 84" STOREFRONT DOOR.
4. PROVIDE 8" W x 1/2" THICK METAL BENT PLATE W/ 2" MIN. LEG LENGTH ON OUTSIDE FACE OF DOOR AND 4" MIN. LEG LENGTH ON DOOR ANGLE SIDE.
5. NOT USED
6. 8" MBM GIRT WALL.
7. MBM MAIN FRAME.
8. WRAP METAL BUILDING MAIN FRAME W/ METAL STUDS & GYPSUM BOARD. EXTEND 4" ABOVE FINISH CLG.
9. EXTERIOR WALLS ADJACENT TO THE PROPERTY LINES WITHIN 5'-0" ARE TO RECEIVE 2 LAYERS OF 5/8" FRT TYPE 'X' GYPSUM BOARD ON 8" METAL STUDS & 5 1/2" BATT. INSULATION. MAIN FRAMES TO WRAPPED W/ 1 5/8" METAL STUDS AND 2 LAYERS OF 5/8" FRT TYPE 'X' GYPSUM BOARD. EXTEND TO ROOF DECK.
10. 6" Ø METAL PIPE BOLLARD FILL WITH CONCRETE REFER DETAIL A6/A412 PAINT SAFETY YELLOW

METAL STUD GAUGE GUIDE

(GAUGE GUIDE IS FOR INTERIOR PARTITIONS ONLY)

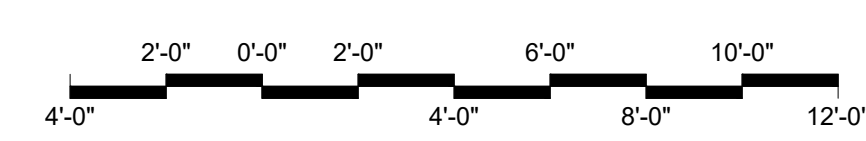
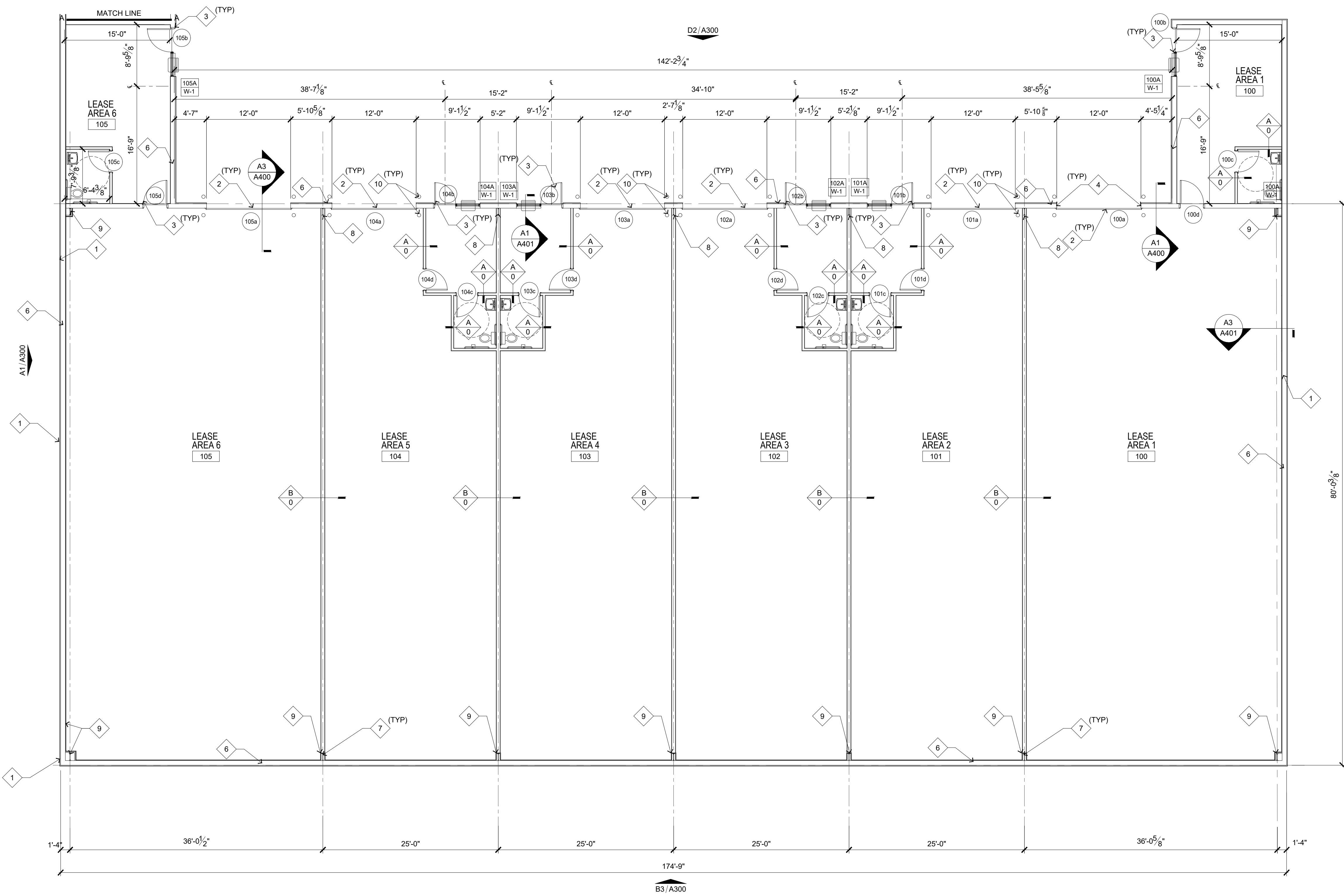
STUD	SPAN					
	14'-6"	16'-5"	17'-0"	19'-0"	24'-0"	26'-0"
3 5/8"	25 GA	20 GA	18 GA	---	---	---
4"	25 GA	25 GA	20 GA	18 GA	---	---
6"	25 GA	25 GA	25 GA	25 GA	20 GA	18 GA

GENERAL STUD GAUGE NOTES:

1. PROVIDE 20 GAUGE STUDS AT WALL MOUNTED CABINET LOCATIONS AND AT WALLS SCHEDULED TO RECEIVE CERAMIC TILE.
2. PROVIDE 16 GAUGE STUDS AT DOOR JAMBS, AND WHERE WALLS SUPPORT HEAVY EQUIPMENT.

WALL KEY (Interior Walls)

- WALL TYPE "A" TYPICAL PARTITION: 3 5/8" METAL STUDS AT 16" O.C. WITH 1 LAYER OF 5/8" GYPSUM BOARD ON EACH FACE. EXTEND METAL STUDS AND GYPSUM BOARD TO 4" ABOVE CEILING AND PROVIDE DIAGONAL BRACING @ 32" O.C.
- WALL TYPE "A" TYPICAL PARTITION: 6" METAL STUDS AT 16" O.C. WITH 1 LAYER OF 5/8" GYPSUM BOARD ON EACH FACE. EXTEND METAL STUDS AND GYPSUM BOARD TO 4" ABOVE CEILING AND PROVIDE DIAGONAL BRACING @ 32" O.C.



FLOOR PLAN

1/8" = 1'-0" SCALE

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JOHNSON REALTY

1000 West New Circle Road
 Lexington, Ky 40511

FLOOR PLAN

project no.
1804

date
03.10.20

drawn by
JP

ch'kd by
RB

rev.

by

date

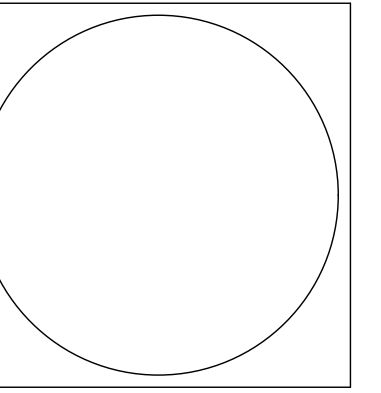
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A100

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GENERAL NOTES FLOOR PLAN Floor Plans

ALL DIMENSIONS ARE FROM TO FACE OF METAL STUDS/MASONRY TO FACE OF METAL STUDS/MASONRY U.N.O.
 DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT/OWNER'S REPRESENTATIVE BEFORE PROCEED WITH THE WORK.
 ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR CONDITIONS AND LOCATIONS UNLESS NOTED OTHERWISE.
 ALL EXTERIOR WALL METAL STUDS SHALL BE 8" - 16 GAUGE METAL STUDS @ 16" O. C. U.N.O.
 ALL INTERIOR METAL STUDS SHALL BE 3 5/8" @ 24" O. C. U. N. O. SEE GAUGE GUIDE BELOW & WALL TYPE'S LEGEND THIS SHEET.
 ALL GYPSUM WALL BOARD SHALL BE 5/8" PROVIDE FIRE CODE WHERE NOTED OR INDICATED BY WALL TYPES.
 PROVIDE GYPSUM BOARD CONTROL JOINTS IN INTERIOR WALL, COORDINATE LOCATION OF INTERIOR CONTROL JOINTS WITH JOINTS IN EXTERIOR WALL AND AS RECOMMENDED BY USG CONSTRUCTION HANDBOOK AND COMMON PRACTICE.
 THE CONTRACTOR SHALL PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ACCESSORIES.
 GYPSUM WALL BOARD ON REST ROOM WET WALLS SHALL BE WATER RESISTANT GYPSUM WALL BOARD.
 CONCEAL ALL PIPING IN WALLS. WHERE PIPING WILL NOT FIT IN WALL CAVITY FUR OUT WALL MINIMUM TO CONCEAL PIPING.
 REFER TO DOOR SCHEDULE, DETAILS AND SPECIFICATIONS FOR DOOR, DOOR FRAME AND DOOR HARDWARE REQUIREMENTS.
 DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL AS SHOWN OR LOCATED 4" FROM NEAREST WALL FINISH TO FINISH OF JAMB OPENING UNLESS NOTED OTHERWISE.
 ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED (PT) WITH AN APPROVED WOOD PRESERVATIVE.
 REFER GENERAL NOTES ON SHEET C.V.R FOR ADDITIONAL NOTES.
 EXPOSED BATT INSULATION AND FACING IN ATTIC AND WALL CAVITY SHALL HAVE A FLAME SPREAD INDEX OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
 ALL DISSIMILAR METALLIC MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.
 REFER TO FINISH SCHEDULE FOR TYPE OF PAINT FINISHES, METAL FINISHES CEMENT FINISHES, WEATHER AND SOUND SEALANTS.

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 Lexington, Ky 40511

FLOOR PLAN

project no.
1804

date
03.10.20

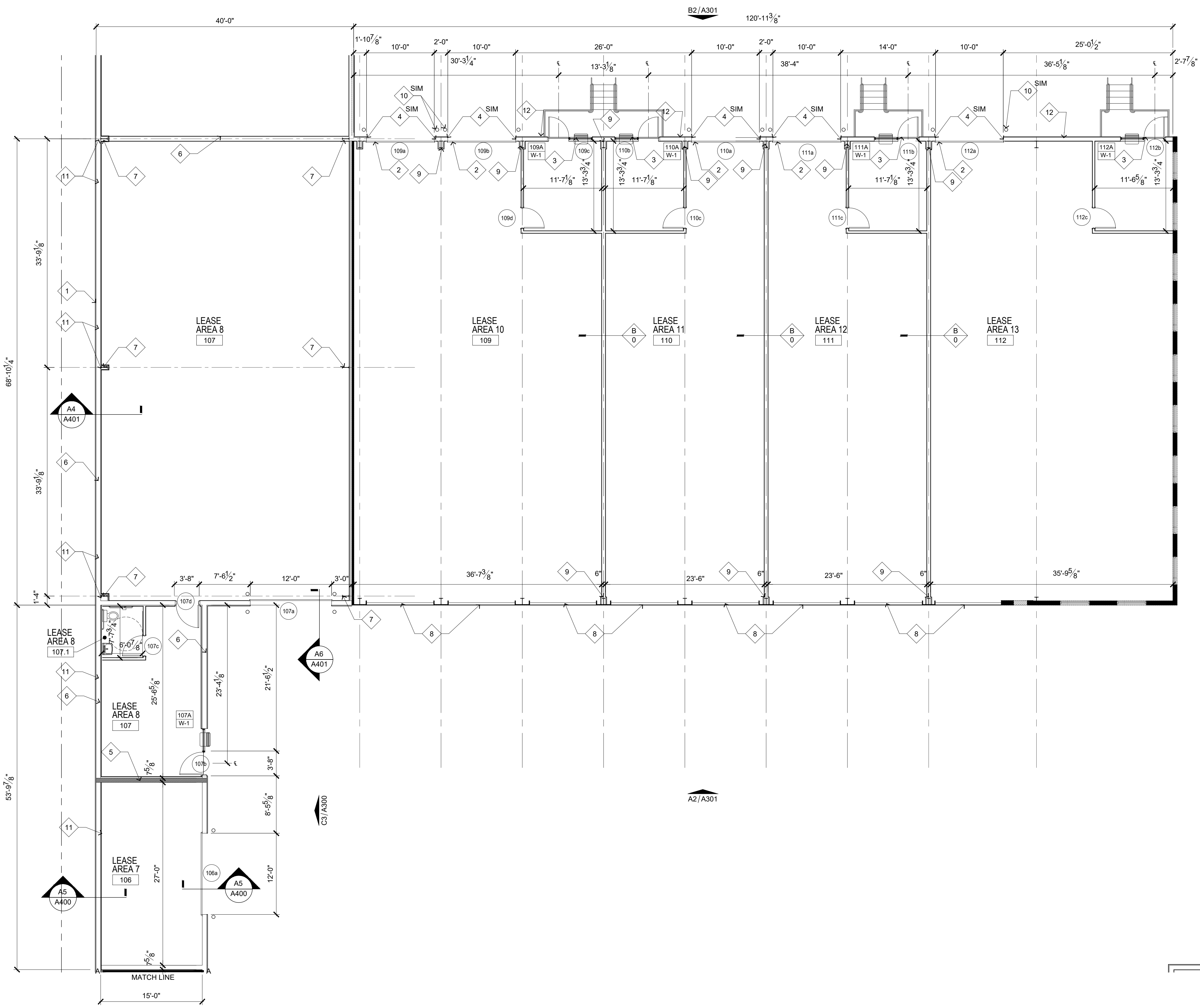
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JP

ch'i'd by

rev. by date

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SHEET NOTES

1. MBM METAL BUILDING PANELS.
2. 120" x 120" SECTIONAL METAL OVERHEAD DOOR (INSULATED).
3. 36" x 84" STOREFRONT DOOR.
4. PROVIDE 8" W x 1/2" THICK METAL BENT PLATE W/ 2" MIN. LEG LENGTH ON OUTSIDE FACE OF DOOR AND 4" MIN. LEG LENGTH ON DOOR ANGLE SIDE.
5. 8" CONCRETE MASONRY UNIT WALL W/ 1 5/8" METAL FURRING & 2 LAYERS OF 5/8" TYPE 'X' RATED GYPSUM BOARD. (2 HOUR WALL)
6. 8" MBM GIRT WALL.
7. MBM MAIN FRAME.
8. REMOVE EXISTING OVERHEAD DOOR & CLOSE OPENING WITH 6" METAL STUDS W/ 5/8" GYPSUM BOARD AND 1 1/2" METAL SIDING MATCH EXISTING.
9. WRAP EXISTING METAL BUILDING MAIN FRAME W/ METAL STUDS & GYPSUM BOARD, EXTEND 4" ABOVE FINISH CLG.
10. 6" Ø METAL PIPE BOLLARD FILL WITH CONCRETE REFER DETAIL A6/A412 PAINT SAFETY YELLOW
11. EXTERIOR WALLS ADJACENT TO THE PROPERTY LINES WITHIN 5'-0" ARE TO RECEIVE 2 LAYERS OF 5/8" FRT TYPE 'X' GYPSUM BOARD ON 8" METAL STUDS & 5 1/2" BATT. INSULATION. MAIN FRAMES TO WRAPPED W/ 1 5/8" METAL STUDS AND 2 LAYERS OF 5/8" FRT TYPE 'X' GYPSUM BOARD. EXTEND TO ROOF DECK.
12. BRICK VENEER ON 1/2" APA PLYWOOD ON 8" METAL STUDS. BRICK TO BE PROVIDED BY OWNER.

METAL STUD GAUGE GUIDE

(GAUGE GUIDE IS FOR INTERIOR PARTITIONS ONLY)

STUD	SPAN					
	14'-6"	16'-5"	17'-0"	19'-0"	24'-0"	26'-0"
3 5/8"	25 GA	20 GA	18 GA	---	---	---
4"	25 GA	25 GA	20 GA	18 GA	---	---
6"	25 GA	25 GA	25 GA	25 GA	20 GA	18 GA

GENERAL STUD GAUGE NOTES:

1. PROVIDE 20 GAUGE STUDS AT WALL MOUNTED CABINET LOCATIONS AND AT WALLS SCHEDULED TO RECEIVE CERAMIC TILE.
2. PROVIDE 16 GAUGE STUDS AT DOOR JAMBS, AND WHERE WALLS SUPPORT HEAVY EQUIPMENT.

WALL KEY

- (Interior Walls) METAL STUD
- A**
 WALL TYPE 'A' TYPICAL PARTITION: 3 5/8" METAL STUDS AT 16" O.C. WITH 1 LAYER OF 5/8" GYPSUM BOARD ON EACH FACE. EXTEND METAL STUDS AND GYPSUM BOARD TO 4" ABOVE CEILING AND PROVIDE DIAGONAL BRACING @ 32" O.C.
- B**
 WALL TYPE 'A' TYPICAL PARTITION: 6" METAL STUDS AT 16" O.C. WITH 1 LAYER OF 5/8" GYPSUM BOARD ON EACH FACE. EXTEND METAL STUDS AND GYPSUM BOARD TO 4" ABOVE CEILING AND PROVIDE DIAGONAL BRACING @ 32" O.C.



FLOOR PLAN

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 Phone: 1.859.225.0310

SHEET NOTES

- MBM METAL BUILDING PANELS.
- 144" x 144" SECTIONAL METAL OVERHEAD DOOR (INSULATED).
- 36" x 84" STOREFRONT DOOR.
- PROVIDE 8" W x 1/2" THICK METAL BENT PLATE W/ 2" MIN. LEG LENGTH ON OUTSIDE FACE OF DOOR AND 4" MIN. LEG LENGTH ON DOOR ANGLE SIDE.
- NOT USED
- 8" MBM GIRT WALL.
- MBM MAIN FRAME.
- WRAP METAL BUILDING MAIN FRAME W/ METAL STUDS & GYPSUM BOARD, EXTEND 4" ABOVE FINISH CLG.
- 6" Ø METAL PIPE BOLLARD FILL WITH CONCRETE REFER DETAIL A6/A412 PAINT SAFETY YELLOW
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METAL STUD GAUGE GUIDE

(GAUGE GUIDE IS FOR INTERIOR PARTITIONS ONLY)

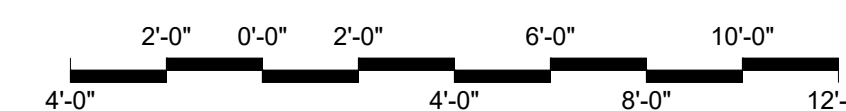
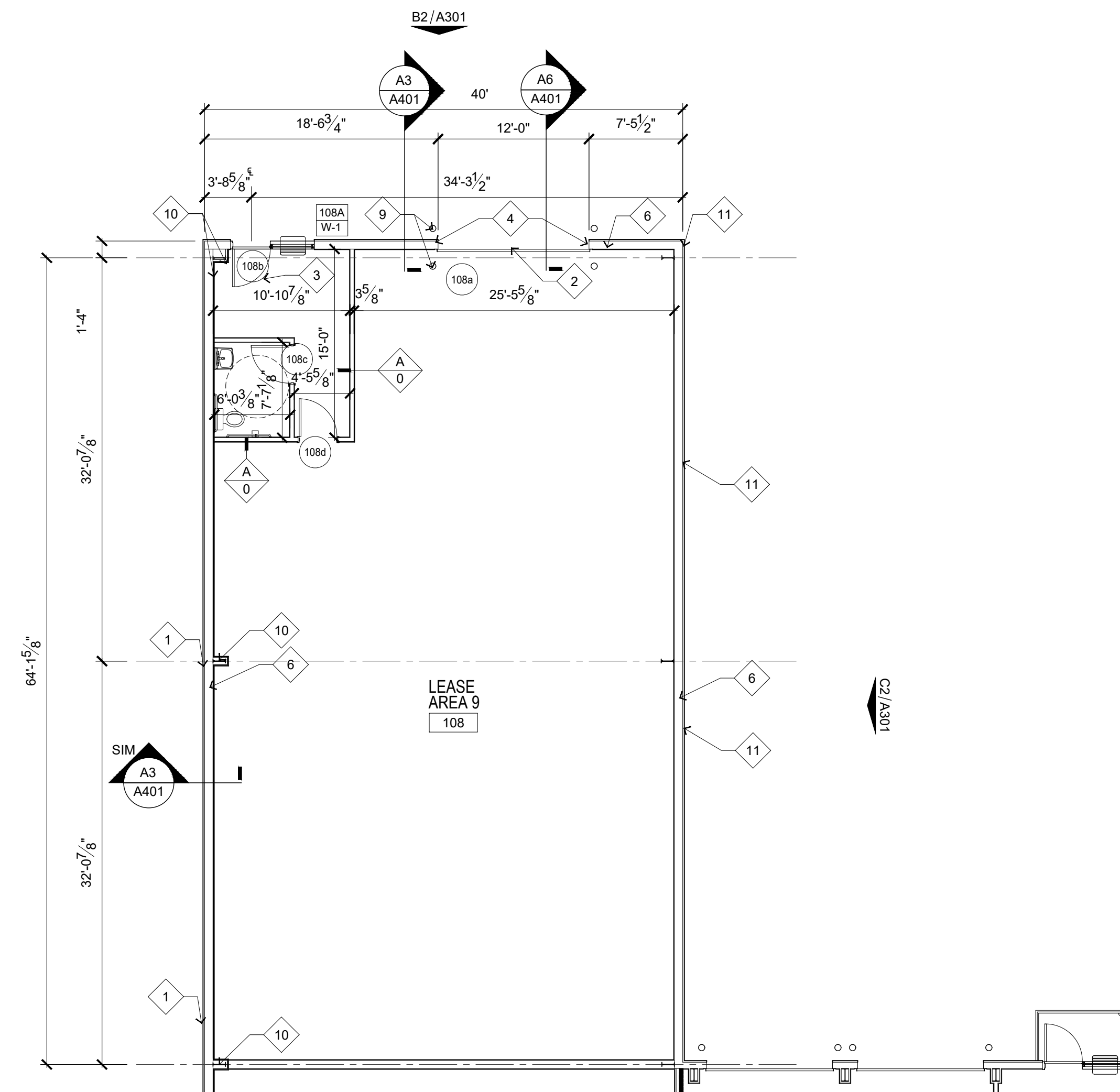
STUD	SPAN					
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FLOOR PLAN

1/8" = 1'-0" SCALE

JOHNSON REALTY
 1000 West New Circle Road
 Lexington, Ky 40511

PHASE II FLOOR PLANS

project no.
1804

date
05.22.19

drawn by
JP

ch'i'd by

rev.	by	date
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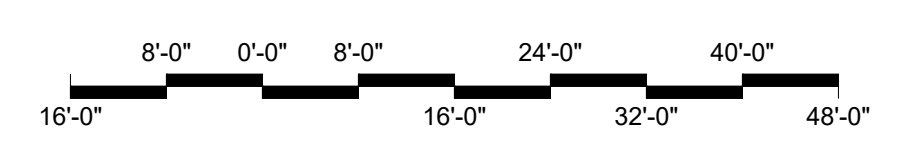
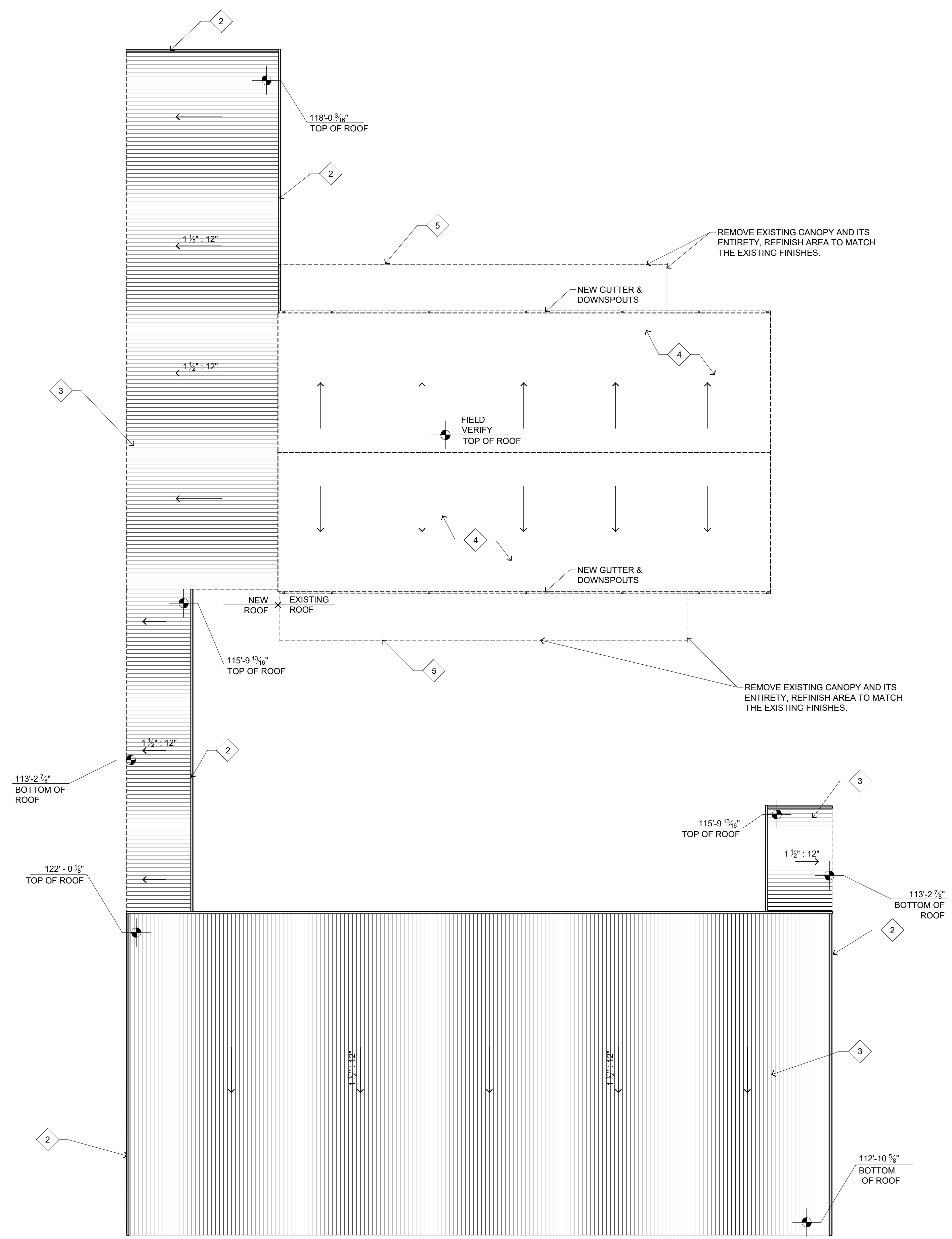
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ROOF PLAN
1/16" = 1'-0" SCALE

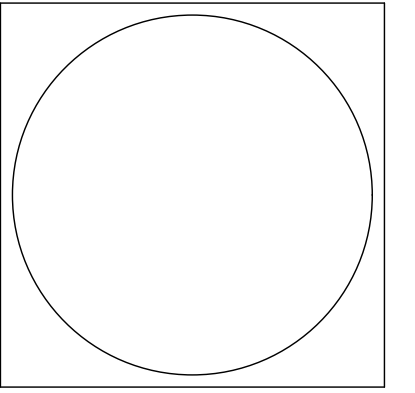
GENERAL NOTES

ALL ROOFING MATERIALS SHALL BE FROM THE ROOFING MANUFACTURER OR BE APPROVED BY THE ROOFING SYSTEM MANUFACTURER FOR USE ON THE ROOFING SYSTEM INSTALLED AND MUST NOT VOID ROOFING MANUFACTURERS WARRANTY.
 ROOFING INSTALLATION AND INSTALLATION DETAILS SHALL COMPLY WITH ROOFING MANUFACTURER AND THE LATEST LATEST EDITION OF THE NRCA ROOFING MANUAL.
 ALL FLASHING, SCUPPERS, GUTTERS AND DOWNSPOUTS PROFILES AND SIZES SHALL COMPLY WITH THE LATEST EDITION OF THE SMACNA ARCHITECTURAL SHEET METAL MANUAL.
 ROOFING CONTRACTOR SHALL PROVIDE MANUFACTURER STANDARD IS YEAR WARRANTY ON ROOFING SYSTEM.

SHEET NOTES

1. MBM STANDARD GUTTER AND DOWN SPOUT.
2. MBM HIGH EVE RAKE TRIM.
3. MBM STANDING SEAM ROOF WITH 1 1/2" : 12" STANDOFF.
4. EXISTING METAL ROOF
5. EXISTING MBM METAL CANOPY

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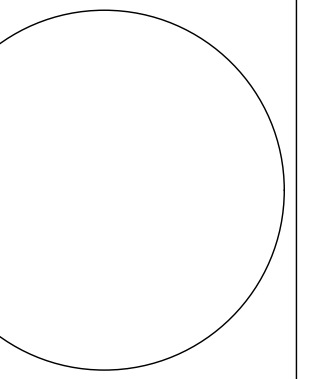
ROOF PLAN

project no.		1804
date		05.30.19
drawn by	ch'k'd by	
JP		
rev.	by	date
sheet no.		A110
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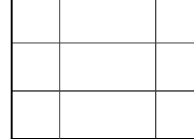

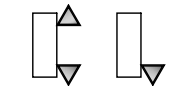
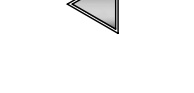
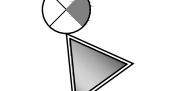
GENERAL NOTES CEILING PLAN

ALL EXPOSED INTERIOR GYPSUM BOARD CEILINGS, SOFFITS AND BULKHEADS SHALL RECEIVE A LEVEL 5 FINISH. REFER TO U S G CONSTRUCTION HANDBOOK FOR REQUIREMENTS.
 COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR SUPPLY AIR DIFFUSERS, RETURN AIR DIFFUSERS AND ELECTRICAL LIGHT AND OTHER CEILING MOUNTED FIXTURES.
 REFER TO MECHANICAL DRAWINGS PROVIDE ACCESS PANELS AS REQUIRED IN GYPSUM BOARD CEILINGS WHERE MECHANICAL EQUIPMENT IS LOCATED ABOVE CEILINGS.
 INDEPENDENT FRAMING AND ATTACHMENTS TO THE STRUCTURE SHALL BE ADEQUATE TO SUPPORT THE CEILING SYSTEM (INCLUDING LIGHTING, DIFFUSERS ETC) WHERE DUCTWORK INTERFERES WITH NORMAL SUSPENSION. ATTACHMENT OF HANGERS OR FRAMING TO DUCTWORK IS PROHIBITED.
 ALL DUCT PENETRATIONS THROUGH PARTITIONS AND CEILING SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING AND SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS AS REQUIRED BY THE BUILDING DEPARTMENT FOR FIRE-RATED PENETRATIONS.
 ALL EXITS LIGHTING AND SIGNS TO HAVE MINIMUM 6-INCH HIGH LETTERS IN ACCORDANCE WITH K B C 2013.
 EMERGENCY LIGHTING SHALL BE PROVIDED GIVING A MINIMUM VALUE ONE (1) FOOTCANDLE AT FLOOR LEVEL. EXIT SIGNS SHALL BE ILLUMINATED BY TWO SEPARATE SOURCES OF POWER PER LOCAL FIRE DEPARTMENT. (ONE SOURCE ON EMERGENCY POWER, SEE ELECTRICAL DRAWINGS.)
 PROVIDE AN AUDIBLE AND VISUAL FIRE ALARM SYSTEM AS REQUIRED BY NFPA, IBC 2012, KBC 2013 AND ADA.

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CEILING KEY

-  C-1 - NO CEILING/FINISH STRUCTURE / FACE OF INSULATION
-  C-2 - ACOUSTICAL CEILING SYSTEM: 2X4 ACOUSTICAL CEILING TILE ARMSTRONG FINE FISHERED SECOND LOOK WITH BEVELED TEGULAR EDGE (OR EQUAL)
-  24" X 48" RECESSED FLUORESCENT LIGHT SEE ELECTRICAL DRAWINGS "E" DEMOTES EMERGENCY LIGHT WITH BATTERY BACK-UP
-  EMERGENCY LIGHTING ONE HEAD AND TWO HEAD W/ BATTERY BACK-UP WALL MOUNT SEE ELECTRICAL LIGHTING PLAN
-  EMERGENCY LIGHT ONE HEAD W/ REMOTE BATTERY BACKUP SEE ELECTRICAL LIGHTING PLAN
-  EMERGENCY EXIT SIGN AND EMERGENCY LIGHTS W/ REMOTE BATTERY BACK-UP SEE ELECTRICAL LIGHTING PLAN

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CEILING PLAN

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03.10.20

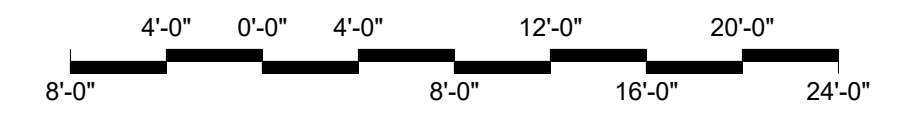
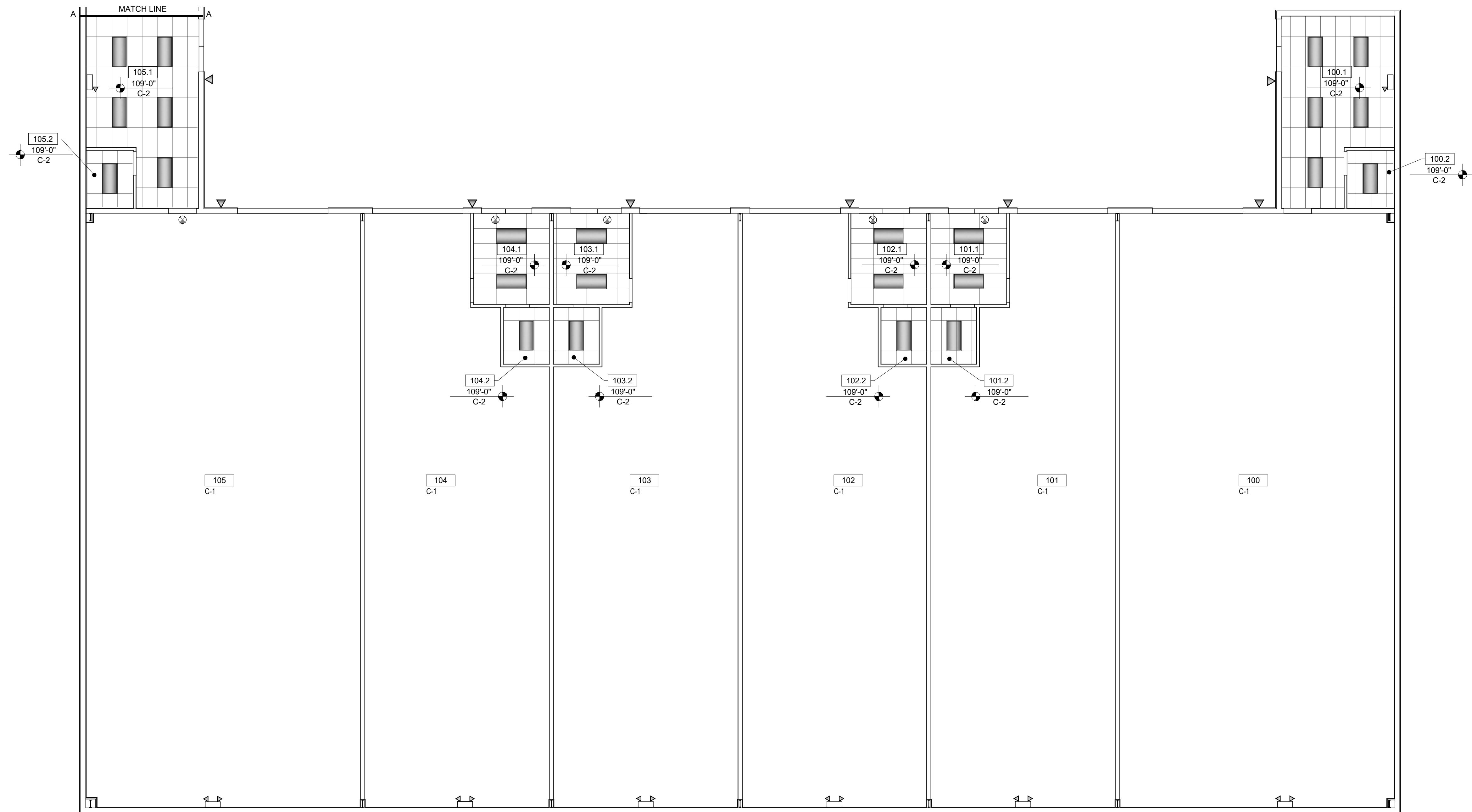
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ch'k'd by
RB

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sheet no.
A200

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CEILING PLAN

1/8" = 1'-0" SCALE


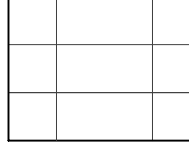
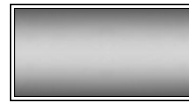

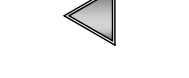
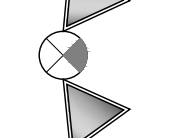
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date
05.02.19

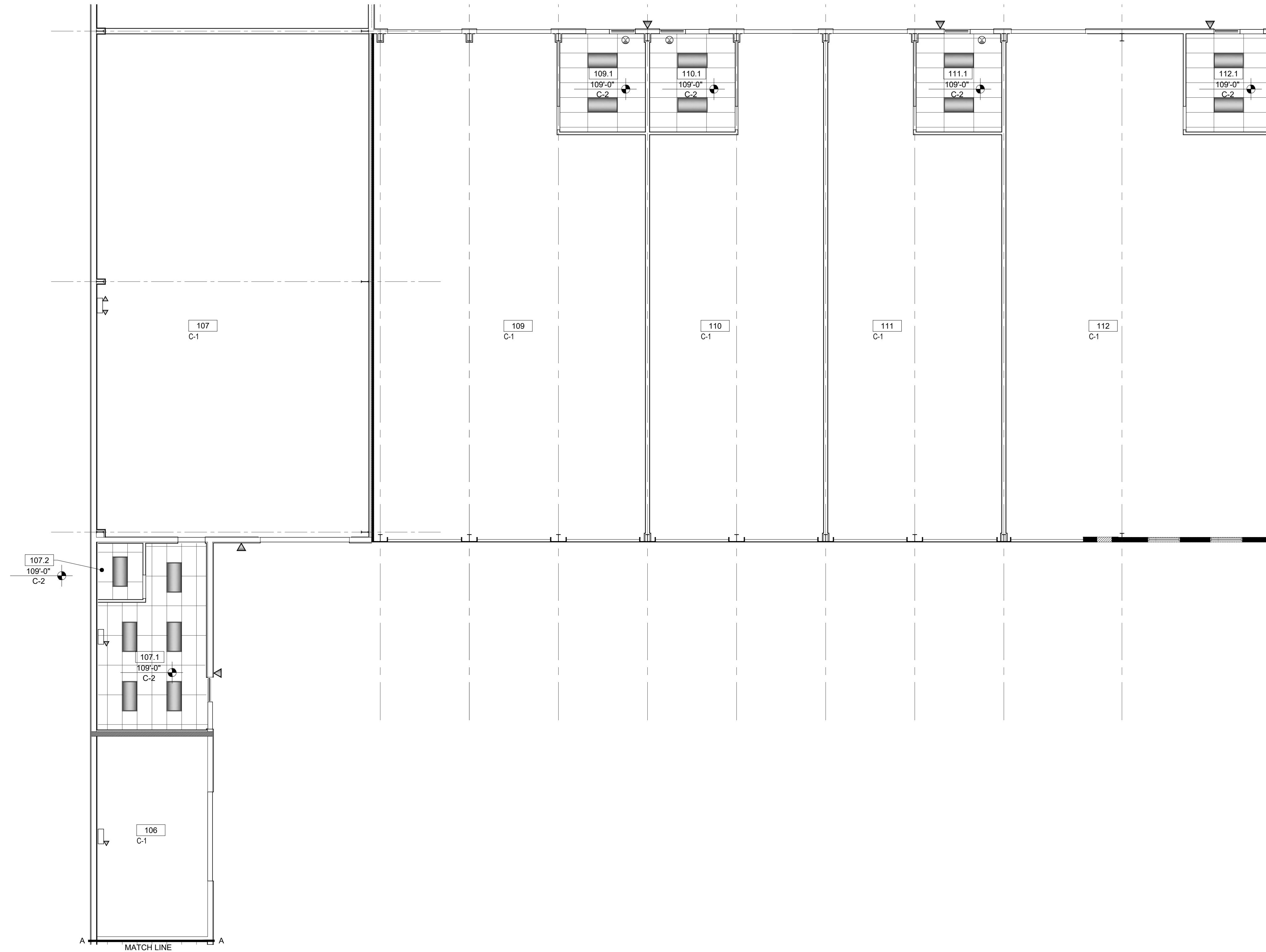
drawn by
HP

chk'd by
RB

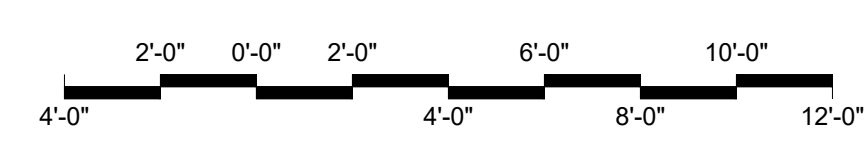
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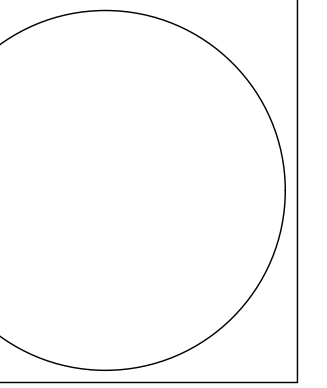
CEILING PLAN

1/8" = 1'-0" SCALE

GENERAL NOTES CEILING PLAN

ALL EXPOSED INTERIOR GYPSUM BOARD CEILINGS, SOFFITS AND BULKHEADS SHALL RECEIVE A LEVEL 5 FINISH. REFER TO U S G CONSTRUCTION HANDBOOK FOR REQUIREMENTS.
 COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR SUPPLY AIR DIFFUSERS, RETURN AIR DIFFUSERS AND ELECTRICAL LIGHT AND OTHER CEILING MOUNTED FIXTURES.
 REFER TO MECHANICAL DRAWINGS PROVIDE ACCESS PANELS AS REQUIRED IN GYPSUM BOARD CEILINGS WHERE MECHANICAL EQUIPMENT IS LOCATED ABOVE CEILINGS.
 INDEPENDENT FRAMING AND ATTACHMENTS TO THE STRUCTURE SHALL BE ADEQUATE TO SUPPORT THE CEILING SYSTEM (INCLUDING LIGHTING, DIFFUSERS ETC.) WHERE DUCTWORK INTERFERES WITH NORMAL SUSPENSION. ATTACHMENT OF HANGERS OR FRAMING TO DUCTWORK IS PROHIBITED.
 ALL DUCT PENETRATIONS THROUGH PARTITIONS AND CEILING SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING AND SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS AS REQUIRED BY THE BUILDING DEPARTMENT FOR FIRE-RATED PENETRATIONS.
 ALL EXITS LIGHTING AND SIGNS TO HAVE MINIMUM 6-INCH HIGH LETTERS IN ACCORDANCE WITH K B C 2013.
 EMERGENCY LIGHTING SHALL BE PROVIDED GIVING A MINIMUM VALUE ONE (1) FOOTCANDLE AT FLOOR LEVEL. EXIT SIGNS SHALL BE ILLUMINATED BY TWO SEPARATE SOURCES OF POWER PER LOCAL FIRE DEPARTMENT. (ONE SOURCE ON EMERGENCY POWER, SEE ELECTRICAL DRAWINGS.)
 PROVIDE AN AUDIBLE AND VISUAL FIRE ALARM SYSTEM AS REQUIRED BY NFPA, IBC 2012, KBC 2013 AND ADA.

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 Lexington, Ky 40511

CEILING PLAN

project no.
1804

date
03.10.20

drawn by
JP

ch'k'd by
RB





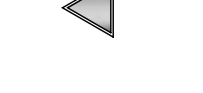

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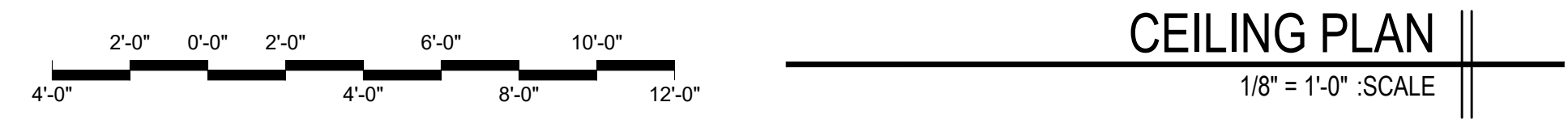
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CEILING KEY

-  C-1 - NO CEILING/FINISH STRUCTURE / FACE OF INSULATION
-  C-2 - ACOUSTICAL CEILING SYSTEM: 2X4 ACOUSTICAL CEILING TILE ARMSTRONG FINE FISHERED SECOND LOOK WITH BEVELED TEGULAR EDGE (OR EQUAL)
-  24" X 48" RECESSED FLUORESCENT LIGHT SEE ELECTRICAL DRAWINGS "E" DEMOTES EMERGENCY LIGHT WITH BATTERY BACK-UP
-  EMERGENCY LIGHTING ONE HEAD AND TWO HEAD W/ BATTERY BACK-UP WALL MOUNT SEE ELECTRICAL LIGHTING PLAN
-  EMERGENCY LIGHT ONE HEAD W/ REMOTE BATTERY BACKUP SEE ELECTRICAL LIGHTING PLAN
-  EMERGENCY EXIT SIGN AND EMERGENCY LIGHTS W/ REMOTE BATTERY BACK-UP SEE ELECTRICAL LIGHTING PLAN



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CEILING PLAN

1/8" = 1'-0" SCALE

GENERAL NOTES ELEVATIONS

ALL DIMENSIONS ARE FROM/TO FACE OF WALL FINISH TO FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
 DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT / OWNERS REPRESENTATIVE BEFORE PROCEED WITH THE WORK.
 ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR CONDITIONS AND LOCATIONS UNLESS NOTED OTHERWISE.
 REFER ARCHITECTURAL SHEET A500 FOR DOOR AND WINDOW SCHEDULES; REFER SHEET A500 FOR DOOR AND WINDOW ELEVATIONS.
 ALL DISSIMILAR METALLIC MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.
 WHEN DISSIMILAR FINISH MATERIALS MEET PROVIDE SINGLE-COMPONENT, NEUTRAL-CURING SILICONE SEALANT, ASTM C 20, TYPE S; GRADE NS; CLASS 25; FOR USE NT

SHEET NOTES

1. METAL BUILDING MANUFACTURER CORNER TRIM
2. METAL BUILDING MANUFACTURER GUTTER
3. METAL BUILDING MANUFACTURER DOWNSPOUT
4. METAL BUILDING MANUFACTURER RAKE TRIM
5. METAL BUILDING MANUFACTURER WALL PANEL
6. INSULATED SECTIONAL OVERHEAD METAL DOOR W/ MOTORIZED OPENER SEE DOOR SCHEDULE
7. INSULATED METAL DOOR AND FRAME SEE SCHEDULE
8. METAL BUILDING MANUFACTURER STANDARD METAL ROOF PANELS
9. NOT USED
10. ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING KAWNEER 451T OR BETTER
11. THRU WALL AC / HEAT UNIT, SEE ELECTRICAL DRAWINGS

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ELEVATIONS

project no.
1804

date
03.10.20

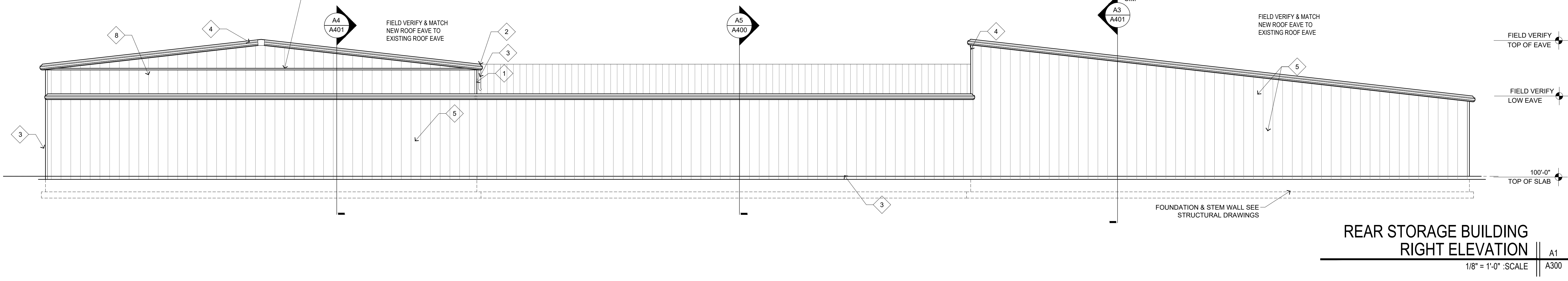
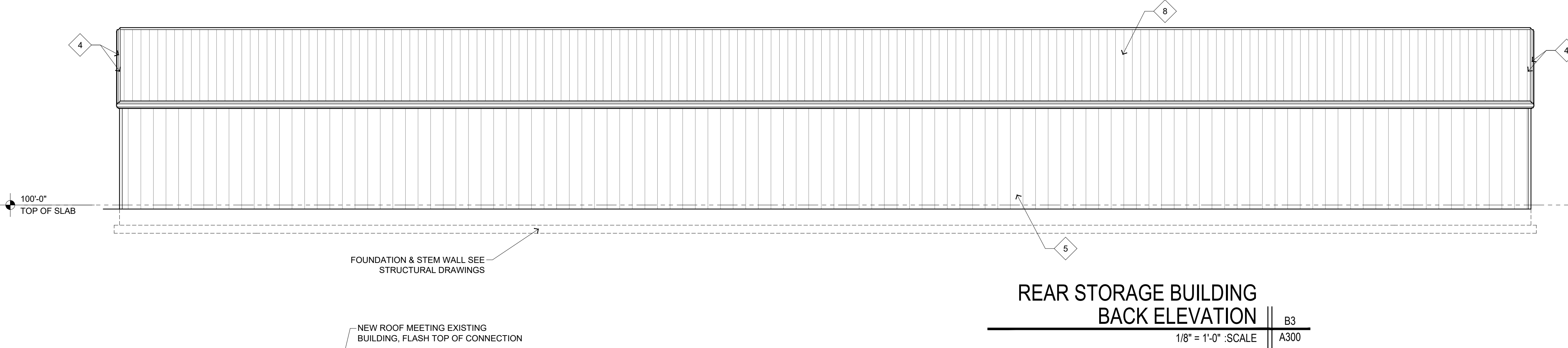
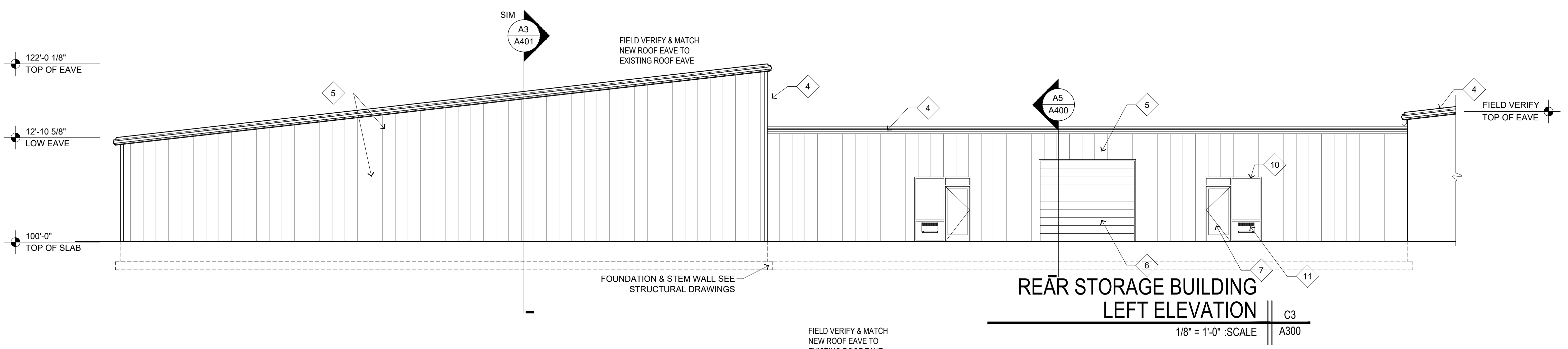
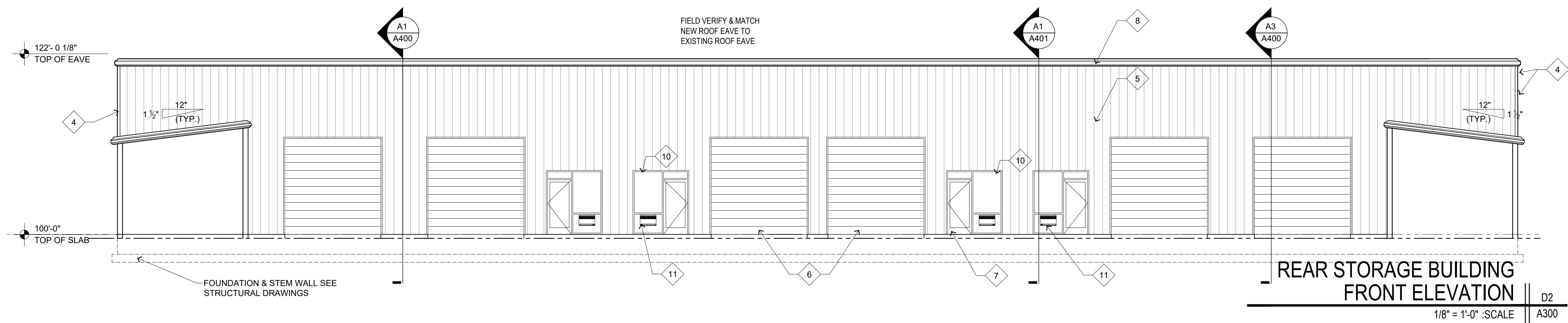
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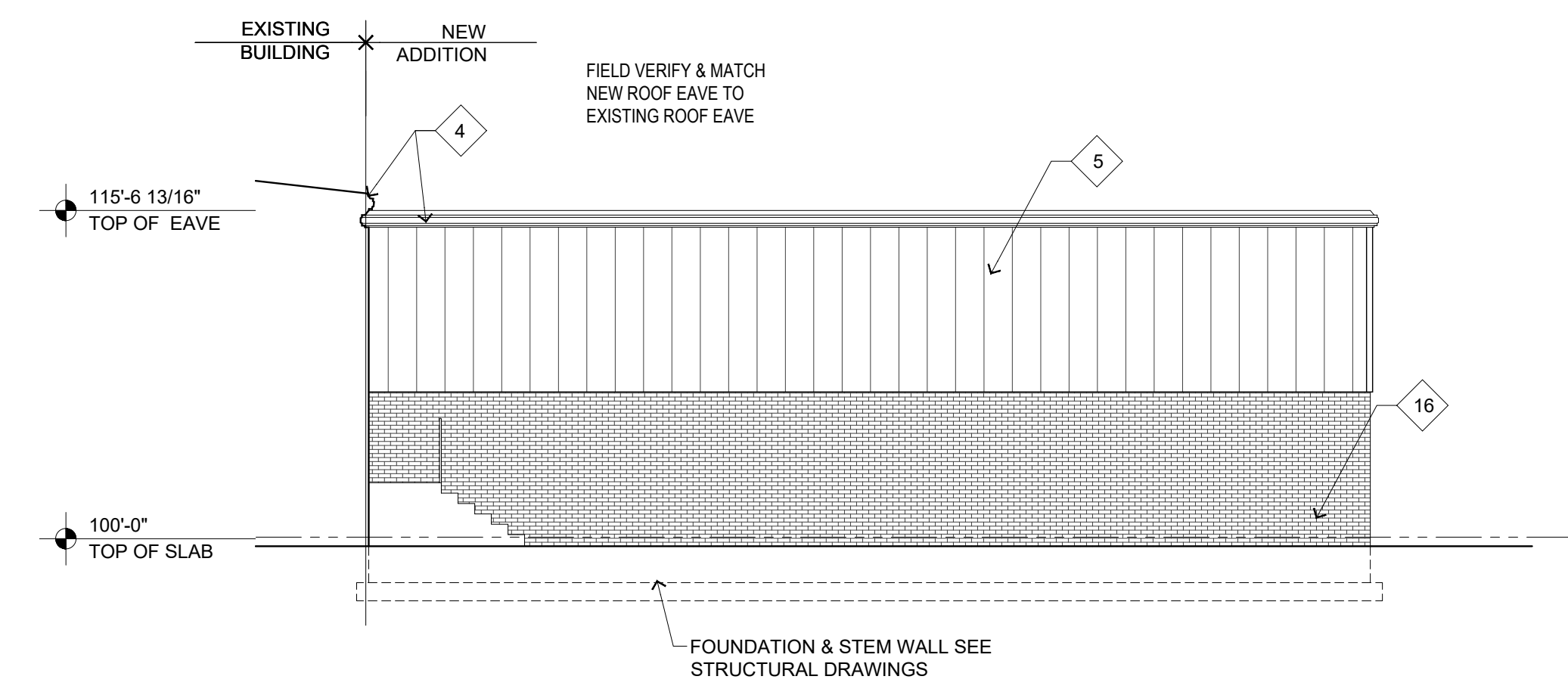
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 REFER ARCHITECTURAL SHEET A500 FOR DOOR AND WINDOW SCHEDULES; REFER SHEET A500 FOR DOOR AND WINDOW ELEVATIONS.
 ALL DISSIMILAR METALLIC MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.
 WHEN DISSIMILAR FINISH MATERIALS MEET PROVIDE SINGLE-COMPONENT, NEUTRAL-CURING SILICONE SEALANT, ASTM C 920, TYPE S; GRADE NS; CLASS 25, FOR USE NT

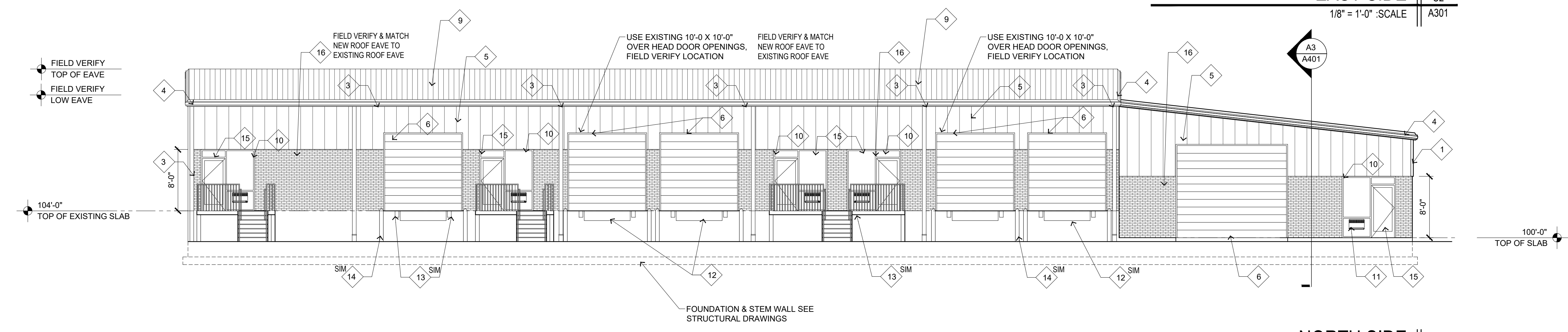
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SHEET NOTES

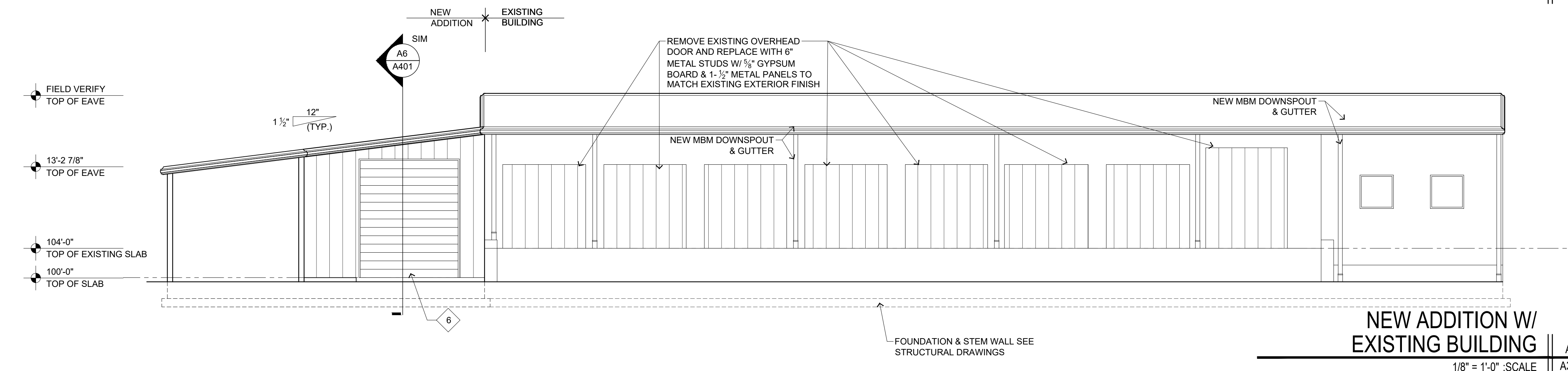
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2. METAL BUILDING MANUFACTURER GUTTER
3. METAL BUILDING MANUFACTURER DOWNSPOUT
4. METAL BUILDING MANUFACTURER RAKE TRIM
5. METAL BUILDING MANUFACTURER WALL PANEL
6. INSULATED SECTIONAL OVERHEAD METAL DOOR W/ MOTORIZED OPENER SEE DOOR SCHEDULE
7. INSULATED METAL DOOR AND FRAME SEE SCHEDULE
8. METAL BUILDING MANUFACTURER STANDARD METAL ROOF PANELS
9. EXISTING MBM STANDARD METAL ROOF
10. ALUMINUM WINDOW SYSTEM W/ 1" INSULATED GLAZING KAWNEER 451T OR BETTER
11. THRU WALL AC / HEAT UNIT. SEE ELECTRICAL DRAWINGS
12. DOCK LEVELERS
13. DOCK BUMPERS
14. 6" Ø METAL PIPE BOLLARD FILL WITH CONCRETE REFER DETAIL A6/A412 PAINT SAFETY YELLOW
15. ALUMINUM STOREFRONT DOOR. SEE DOOR SCHEDULE
16. BRICK VENEER FINISH, TO BE PROVIDED BY OWNER



EAST SIDE | C2
 1/8" = 1'-0" :SCALE | A301



NORTH SIDE | B2
 1/8" = 1'-0" :SCALE | A301



**NEW ADDITION W/
 EXISTING BUILDING** | A2
 1/8" = 1'-0" :SCALE | A301

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EXTERIOR ELEVATIONS

project no.
1804

date
05.24.19

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 JP

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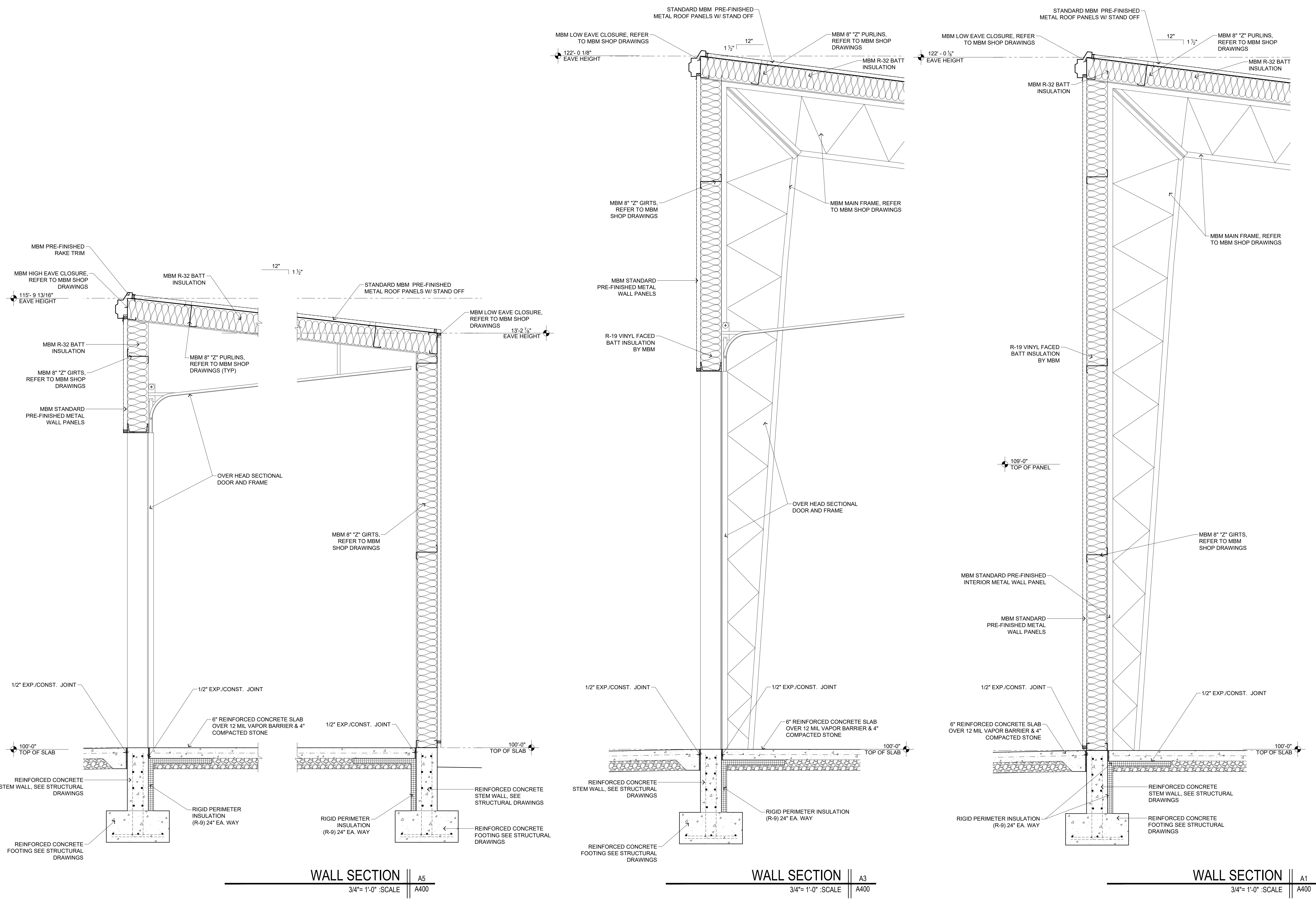
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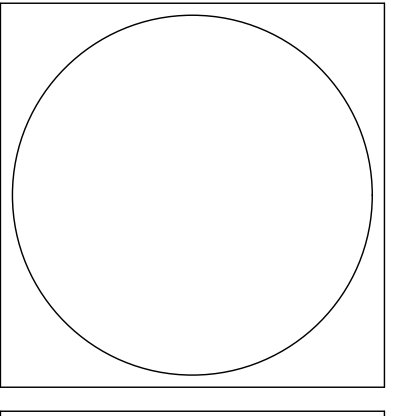
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WALL SECTION || A5
3/4" = 1'-0" SCALE || A400

WALL SECTION || A3
3/4" = 1'-0" SCALE || A400

WALL SECTION || A1
3/4" = 1'-0" SCALE || A400



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WALL SECTIONS

project no.	1804	
date	03.10.20	
drawn by	JP	ch'd by RB
rev.	by	date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
sheet no.	A400	
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DOOR SCHEDULE														
DOOR NUMBER	SIZE		TYPE		MATERIAL		FINISH		DETAILS			RATING	HARDWARE SET NO.	NOTES:
	THICKNESS		DOOR	FRAME	DOOR	FRAME	GLAZ.	DOOR	FRAME	HEAD	JAMB			
100a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
100b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
100c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
100d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
101a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
101b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
101c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
101d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
102a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
102b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
102c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
102d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
103a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
103b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
103c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
103d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
104a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
104b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
104c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
104d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
105a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
105b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
105c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
105d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
106a	144 x 120	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
107a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
107b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
107c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
107d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
108a	144 x 144	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
108b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	C5/A501	B5/A501	A2/A501		
108c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
108d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
109a	120 x 120	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
109b	120 x 120	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
109c	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	D2/A501	D3/A501	A2/A501		
109d	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
110a	120 x 120	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
110b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	D2/A501	D3/A501	A2/A501		
110c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
111a	120 x 120	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
111b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	D2/A501	D3/A501	A2/A501		
111c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			
112a	120 x 120	1 3/4	D-2	F-2	STEEL	STEEL		DF-2	FF-1	B2/A501	B6/A501			
112b	36 x 84	1 3/4	D-3	F-1	ALUM	ALUM		DF-1	FF-1	D2/A501	D3/A501	A2/A501		
112c	36 x 84	1 3/4	D-1	F-1	HM	HM		DF-1	FF-1	C3/A501	C2/A501			

DOOR / FRAME FINISH KEY

DF-1	PAINT
DF-2	FACTORY FINISH
FF-1	PAINT

WINDOW SCHEDULE

WINDOW MARK	TYPE	SIZE			MATL.		FINISH		DETAILS			NOTES:
		# OF LITES	WIDTH (R.O.)	HEIGHT (R.O.)	FRAME	GLAZ.	EXT.	INT.	HEAD	JAMB	SILL	
100A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
101A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
102A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
103A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
104A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
105A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
107A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
108A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	C4/A501	B4/A501		
109A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	D4/A501	D6/A501	D5/A501	
110A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	D4/A501	D6/A501	D5/A501	
111A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	D4/A501	D6/A501	D5/A501	
112A	W-1	3	84"	96"	Alum	G-1	F-1	F-1	D4/A501	D6/A501	D5/A501	

GENERAL NOTES DOORS

ALL DOOR HARDWARE SHALL COMPLY WITH ADA REQUIREMENTS, IBC 2012 AND THE KENTUCKY BUILDING CODE 2013. TYPE OF DOOR LOCK SETS SHALL BE APPROPRIATE FOR THE TYPE / INTENDED USE FOR THE ROOM / SPACE. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN THE EGRESS DIRECTION.

ALL DOORS FROM OCCUPIED SPACES AND EXIT DOORS FROM THE FACILITY SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

MANUAL FLUSH BOLTS SHALL NOT BE USED ON DOUBLE DOORS IN EGRESS PATH (EXIT DOORS).

ALL HARDWARE SHALL BE COMMERCIAL GRADE STANDARD DUTY UNLESS HARDWARE FUNCTION REQUIRES HEAVY DUTY GRADE.

HARDWARE FINISH SHALL BE SELECTED BY THE OWNER OR HIS REPRESENTATIVE.

ALL DOOR FRAMES SHALL RECEIVE DOOR SILENCERS EXCEPT FOR EXTERIOR DOORS WHICH SHALL RECEIVE BULB TYPE WEATHER STRIPPING ALL EXTERIOR DOORS SHALL RECEIVE ADA COMPLIANT THRESHOLDS.

ALL EXTERIOR DOORS SHALL RECEIVE DOOR CLOSURES. ALL DOORS IN CORRIDORS AND STORAGE ROOMS DOORS SHALL RECEIVE CLOSERS. ALL DOOR CLOSER SHALL HAVE COVERS AND SHALL MEET ADA REQUIREMENTS. STORAGE ROOM, AND MECHANICAL ROOM DOORS SHALL HAVE 32" X 12" STAINLESS STEEL KICK PLATES ON PUSH SIDE OF DOORS.

MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING:
 INTERIOR DOORS: 5 POUNDS
 EXTERIOR DOORS: 8.5 POUNDS
 FIRE DOORS: 15 POUNDS

LEGAL EXITS SHALL NOT BE BLOCKED AT ANY TIME.

ALL HOLLOW METAL SMOKE CONTROL DOOR ASSEMBLIES SHALL COMPLY WITH NFPA 105 AND/OR UL 1784.

ALL INTERIOR HM DOORS SHALL BE STANDARD DUTY, LEVEL 1, PHYSICAL PERFORMANCE UNO.

ALL EXTERIOR HM DOORS SHALL BE HEAVY DUTY, LEVEL 2, PHYSICAL PERFORMANCE B WITH R VALUE OF 15 U.N.O.

ALL INTERIOR HM DOOR FRAMES SHALL BE KNOCK DOWN, 0.042" METAL THICKNESS.

ALL EXTERIOR HM DOORS SHALL BE MITERED OR COPED WITH CONTINUOUS WELD, 0.053" METAL THICKNESS.

HARDWARE REINFORCING SHALL COMPLY WITH ANSIS/DI A250.6 AND MINIMUM THICKNESS FOR FRAME ANCHOR SHALL BE 0.42" THICK.

GLASS & GLAZING KEY

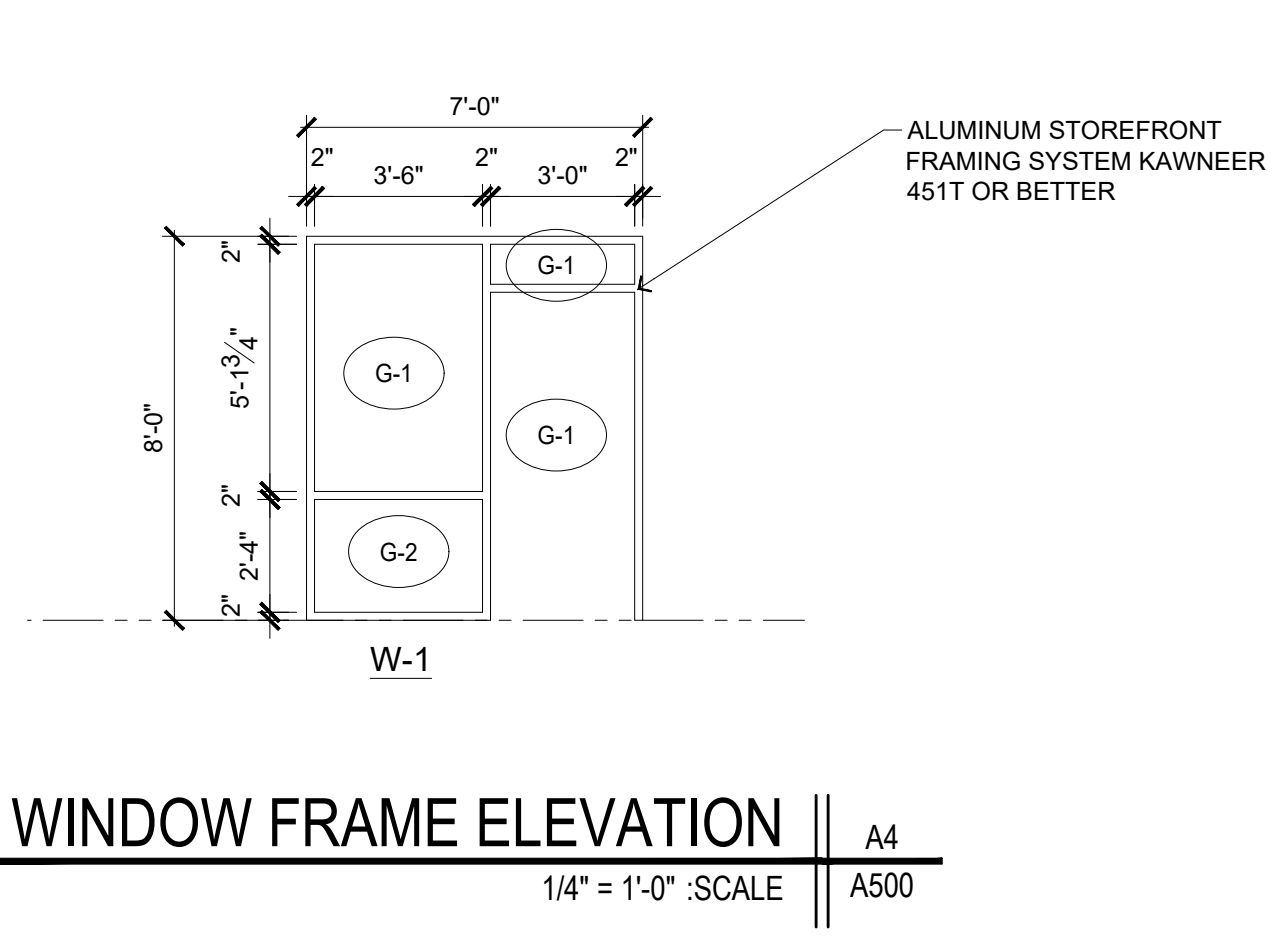
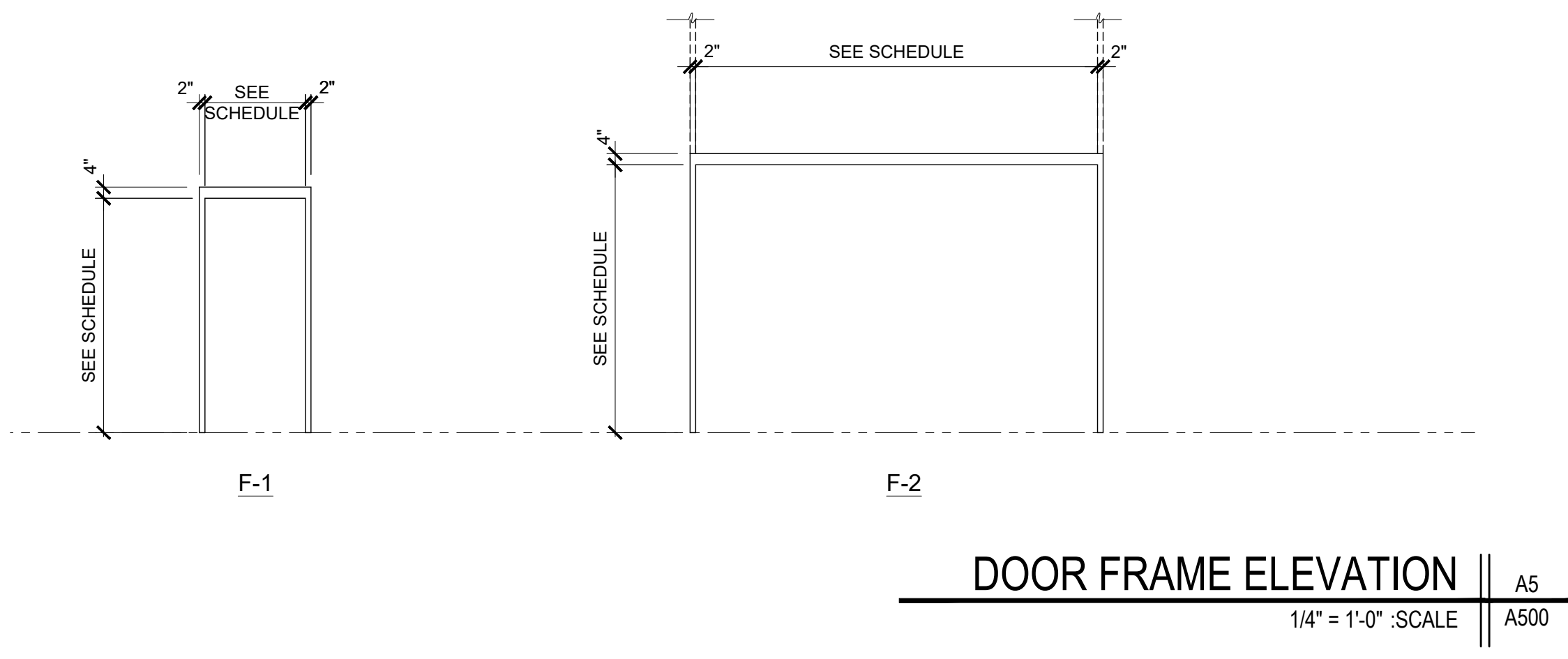
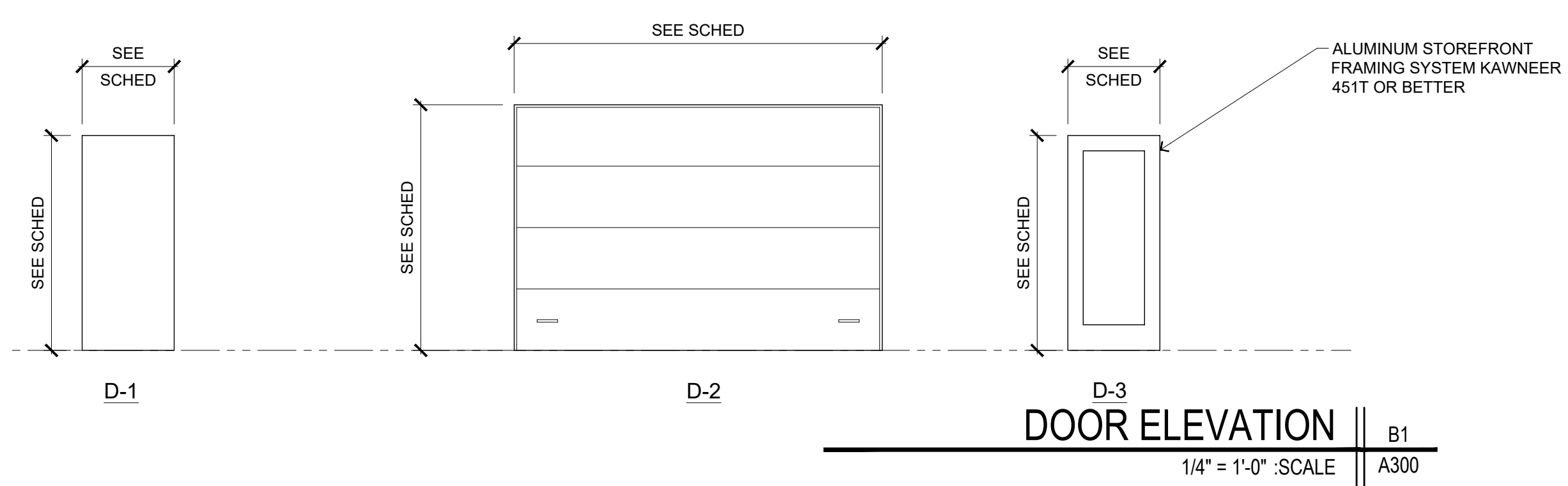
G-1	1" INSULATED GLAZING W/ LOW "E" COATING MIN. U VALUE 0.32, MIN. SHGC 0.6 (COOL GRAY TENT)
-----	---

WINDOW FINISH KEY

F-1	ANODIZED ALUMINUM
-----	-------------------

ROOM FINISH NOTES:

PAINT ALL GYPSUM BOARD



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 1000 West New Circle Road
 Lexington, Ky 40511

DOOR SCHEDULES AND DETAILS

project no.
1804

date
03.10.20

drawn by
JP

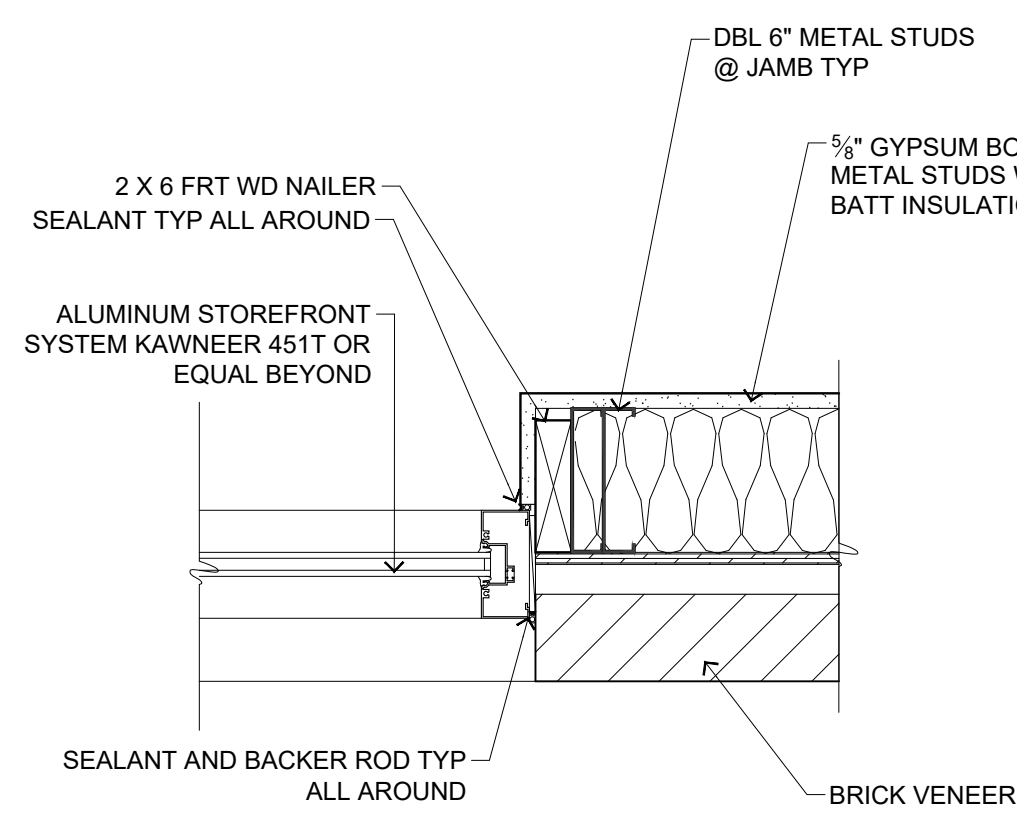
ch'k'd by
RB

rev. by date

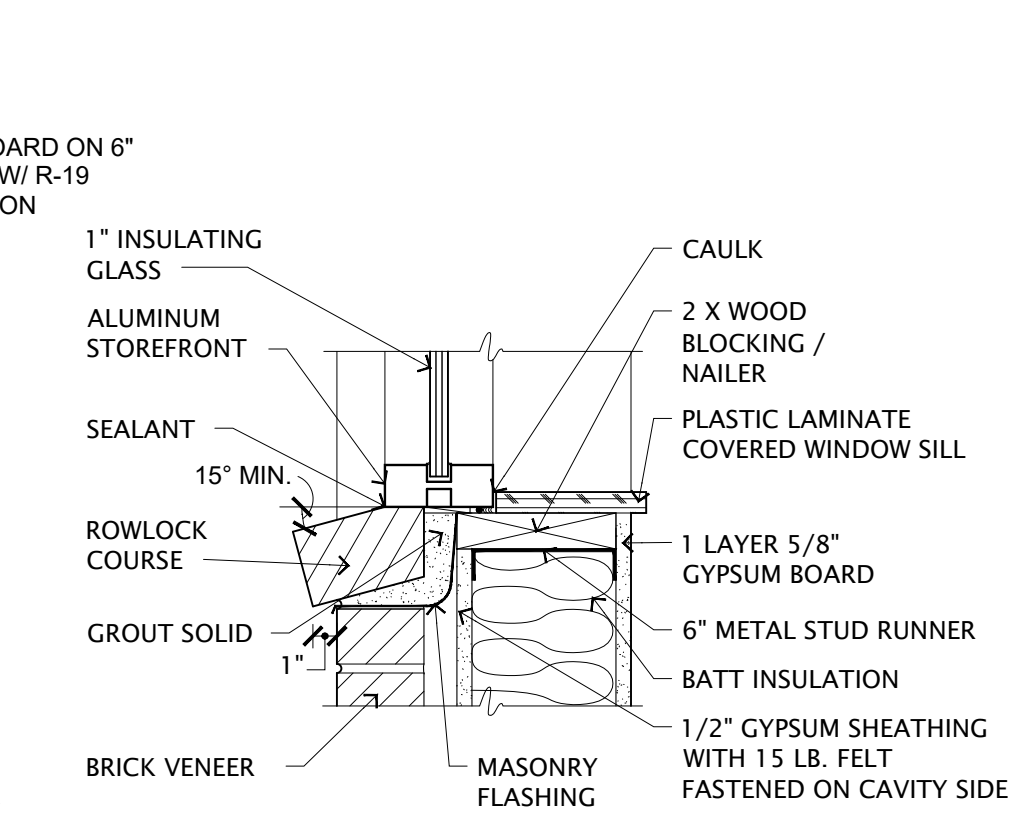
sheet no.
A500

Jerry W. Herndon,
Architect©2017

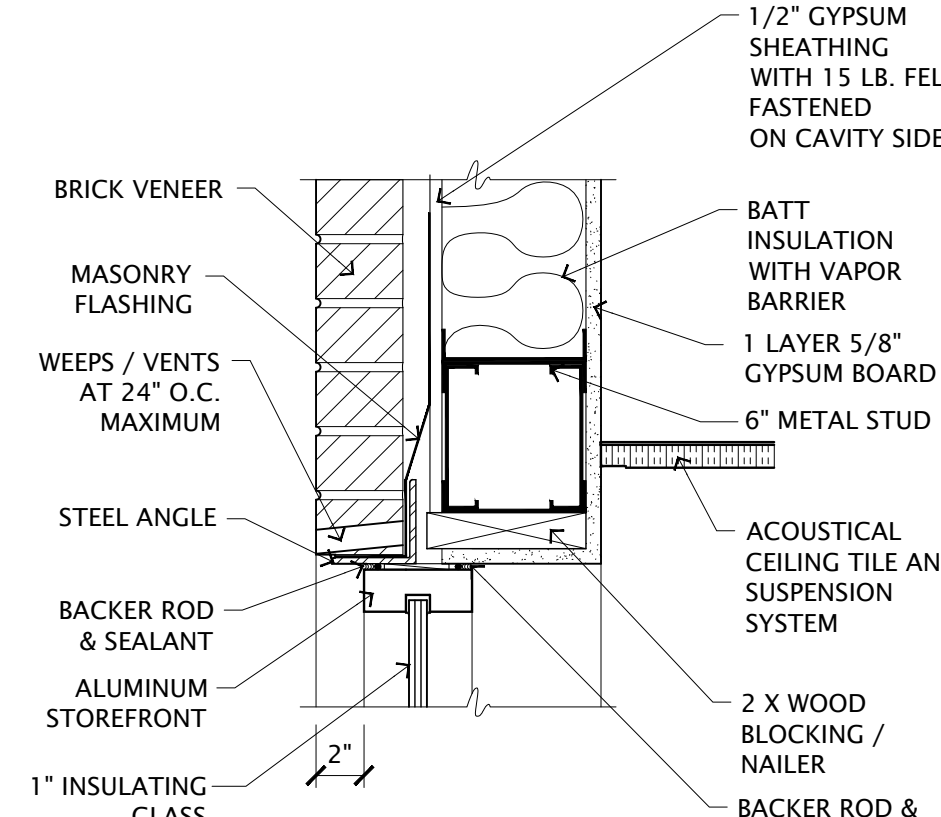
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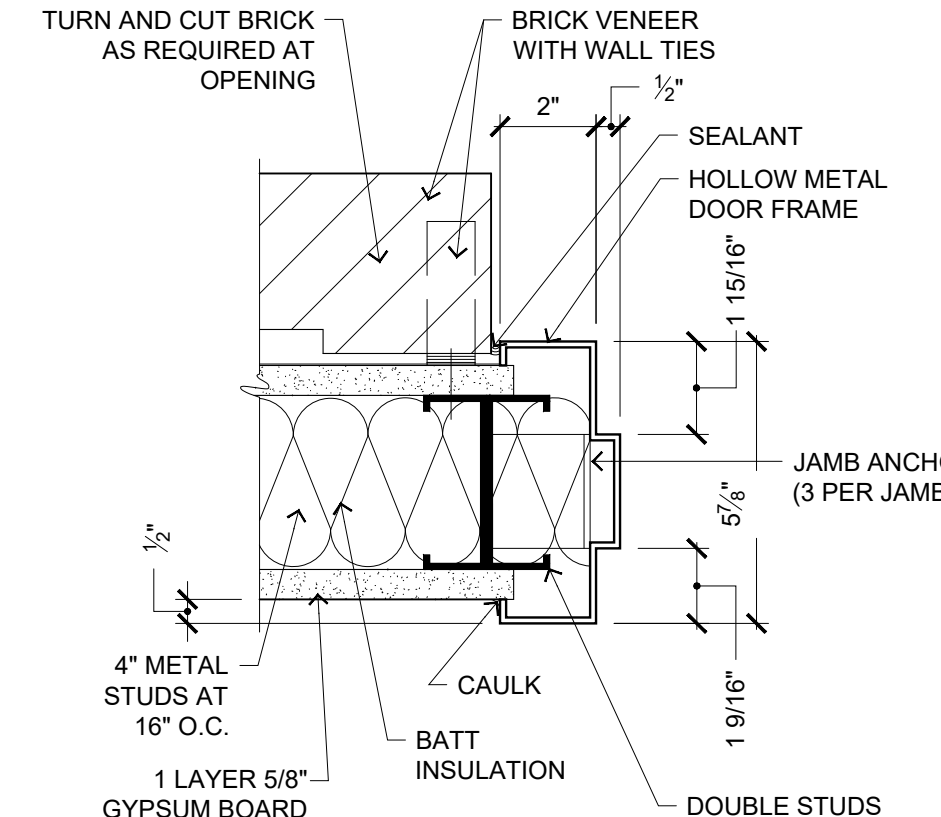
WINDOW JAMB || D6
1 1/2" = 1'-0" :SCALE || A501



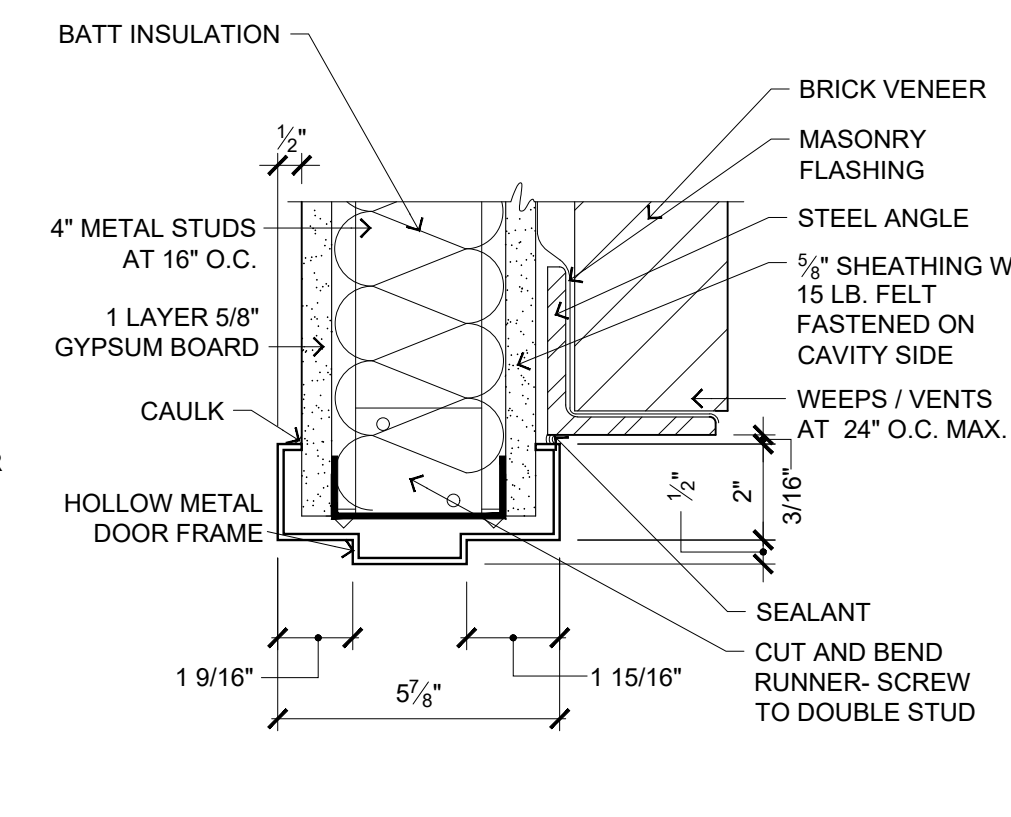
WINDOW SILL || D5
1 1/2" = 1'-0" :SCALE || A501



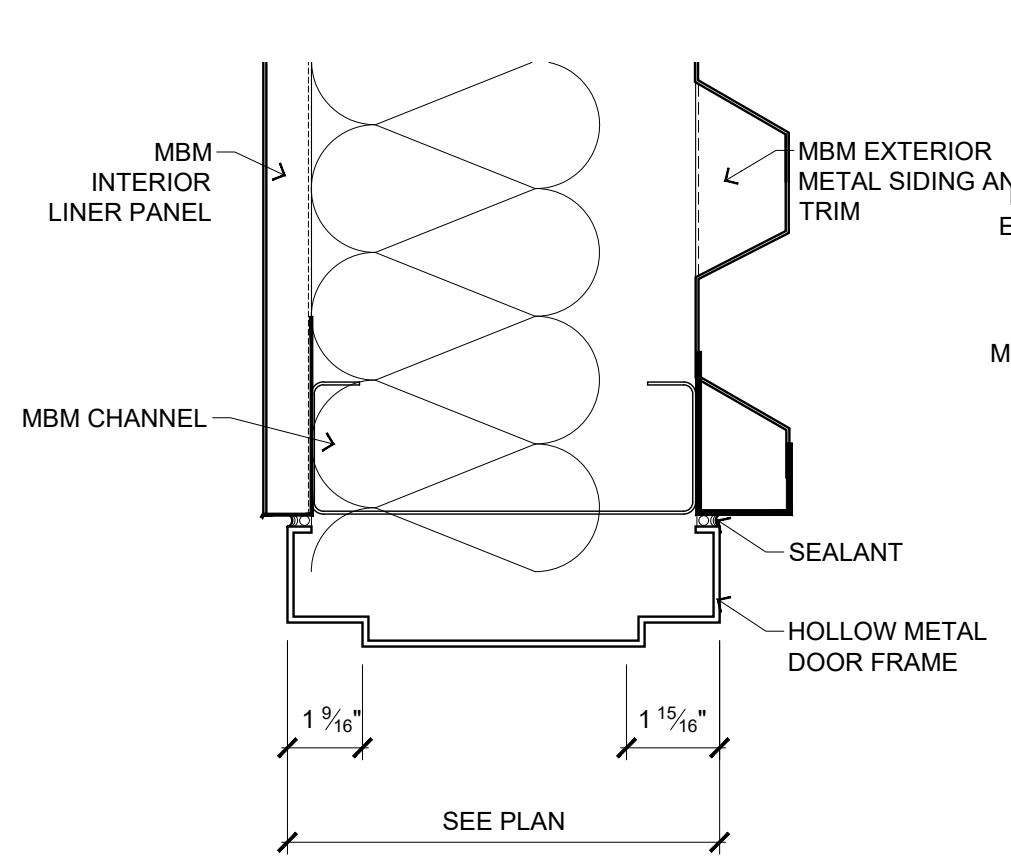
WINDOW HEAD || D4
1 1/2" = 1'-0" :SCALE || A501



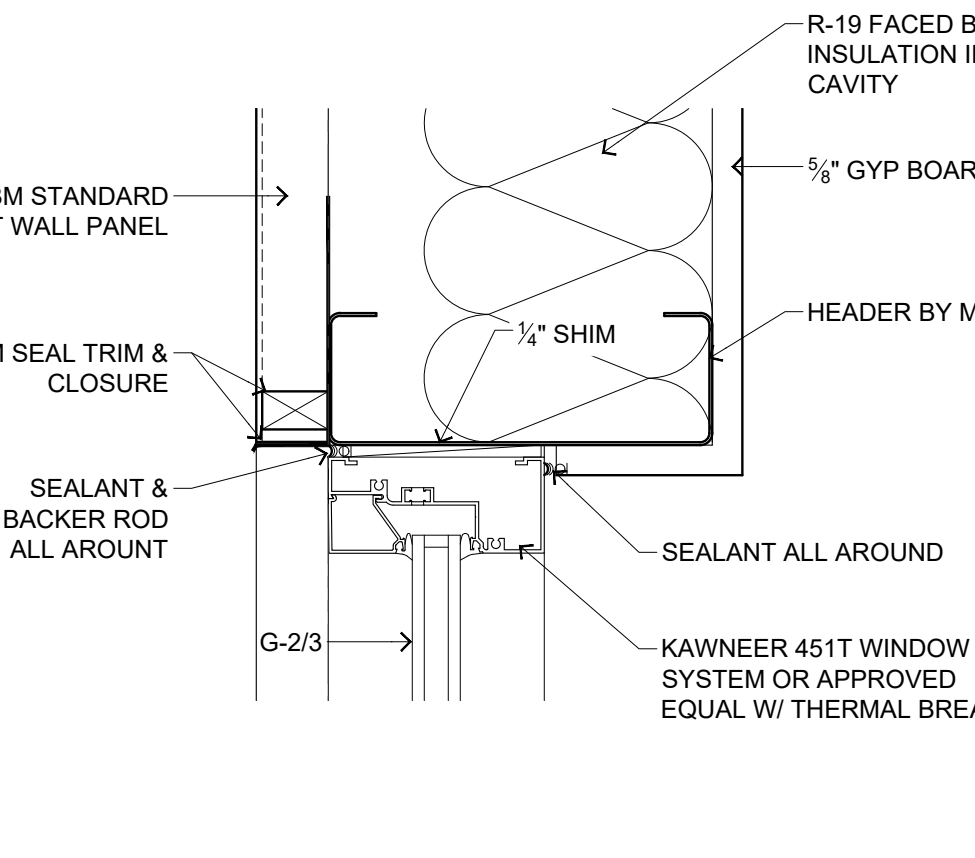
EXT. DOOR JAMB || D3
3" = 1'-0" :SCALE || A501



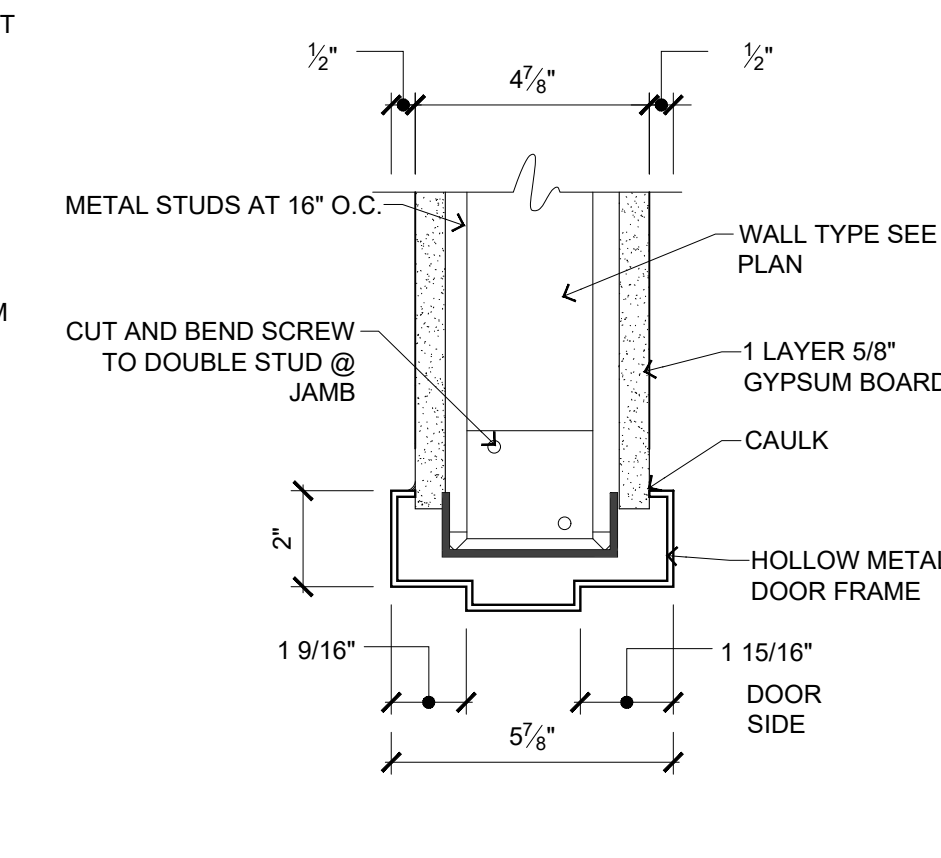
EXT. DOOR HEAD || D2
3" = 1'-0" :SCALE || A501



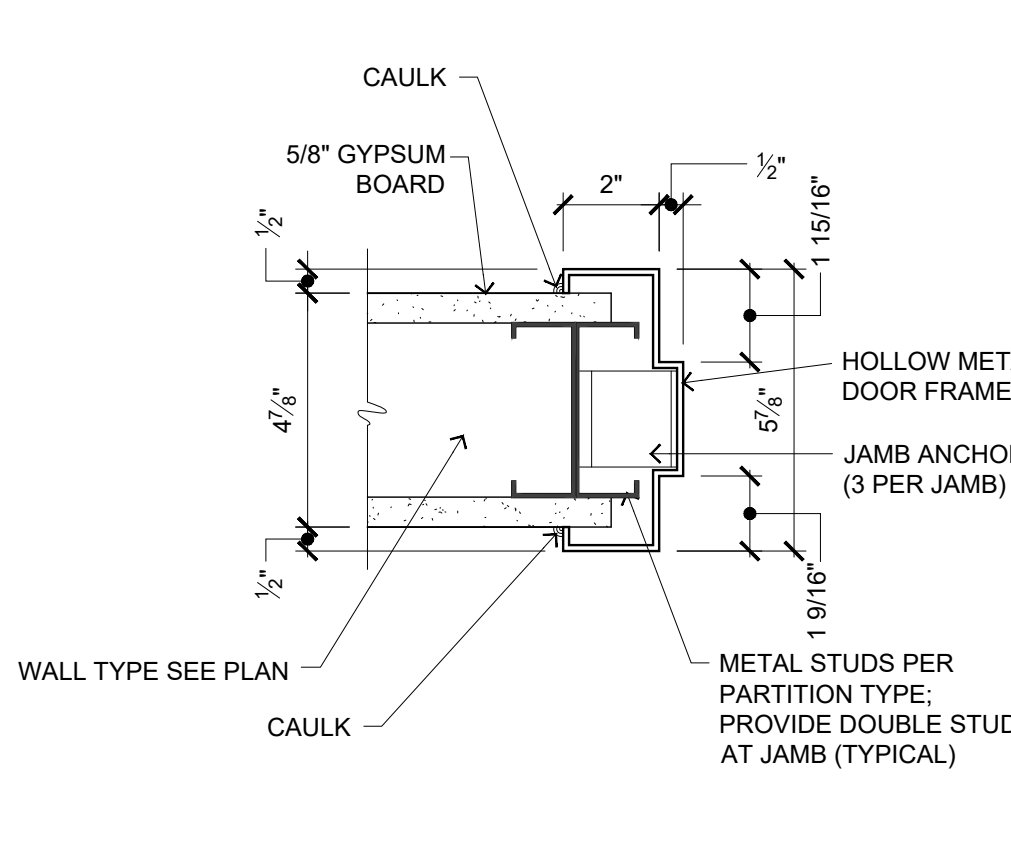
HEAD DETAIL || C5
3" = 1'-0" :SCALE || A501



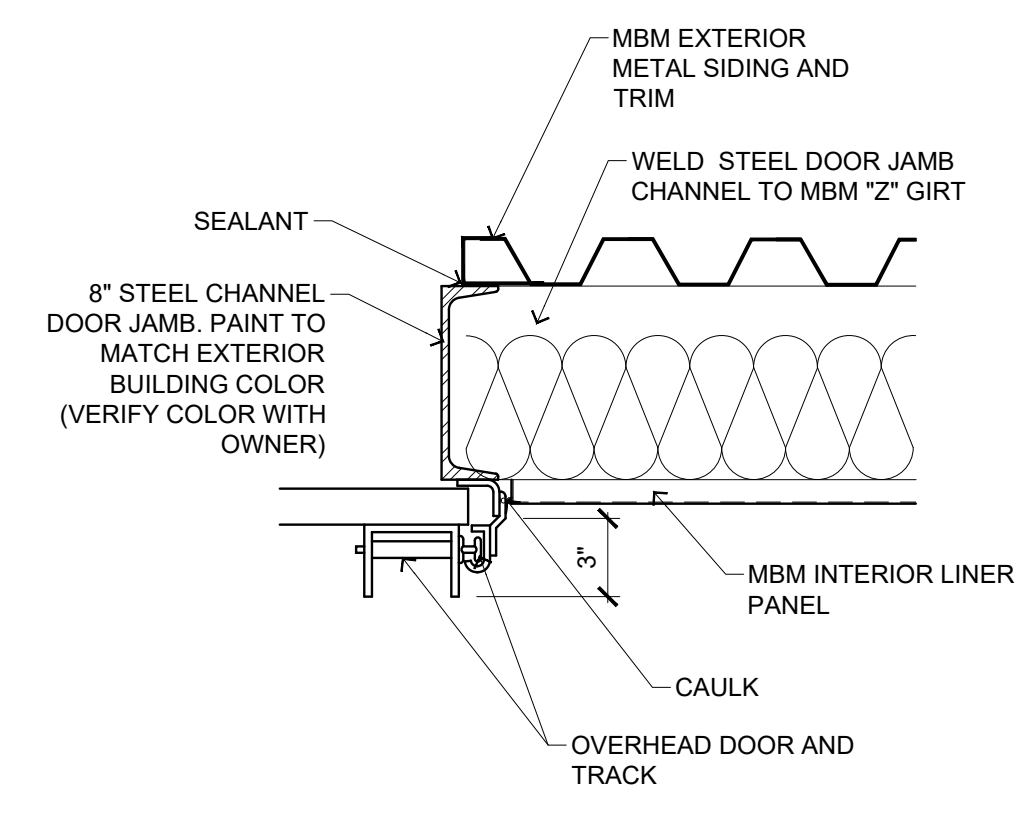
MBM WDW HEAD DETAIL || C4
3" = 1'-0" :SCALE || A501



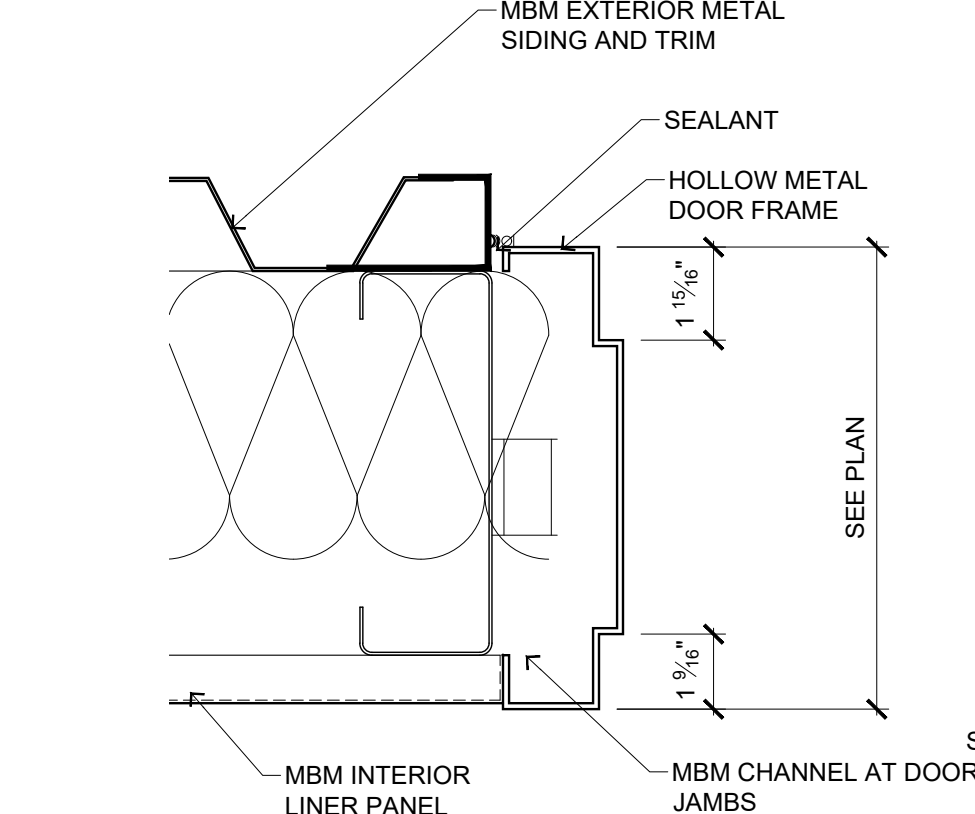
INT. DOOR HEAD || C3
3" = 1'-0" :SCALE || A501



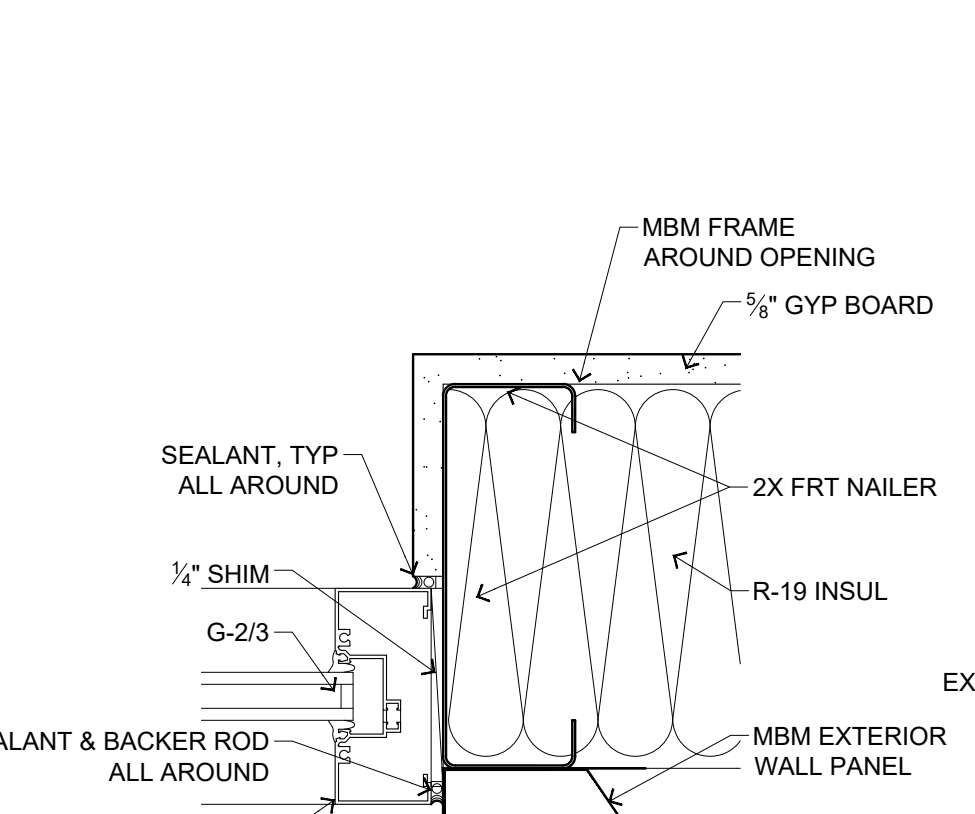
INT. DOOR JAMB || C2
3" = 1'-0" :SCALE || A501



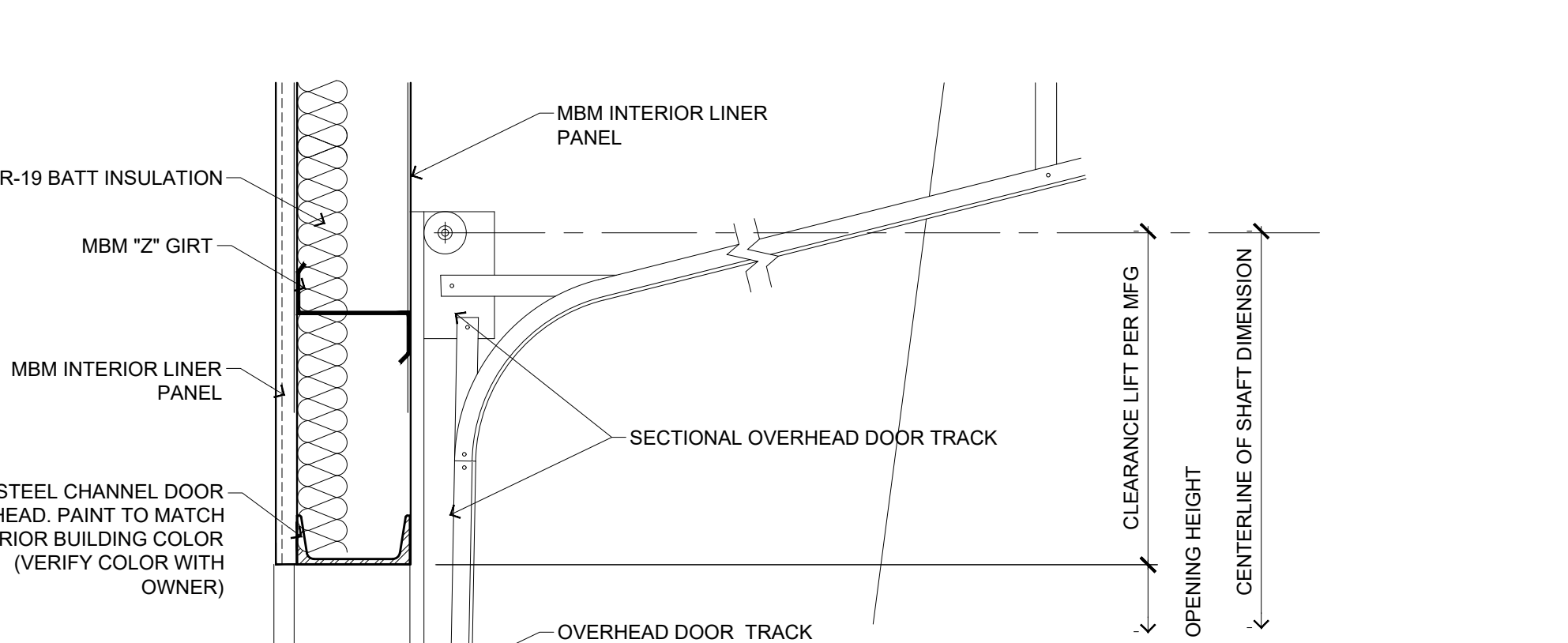
OVERHEAD DOOR JAM DETAIL || B6
3" = 1'-0" :SCALE || A501



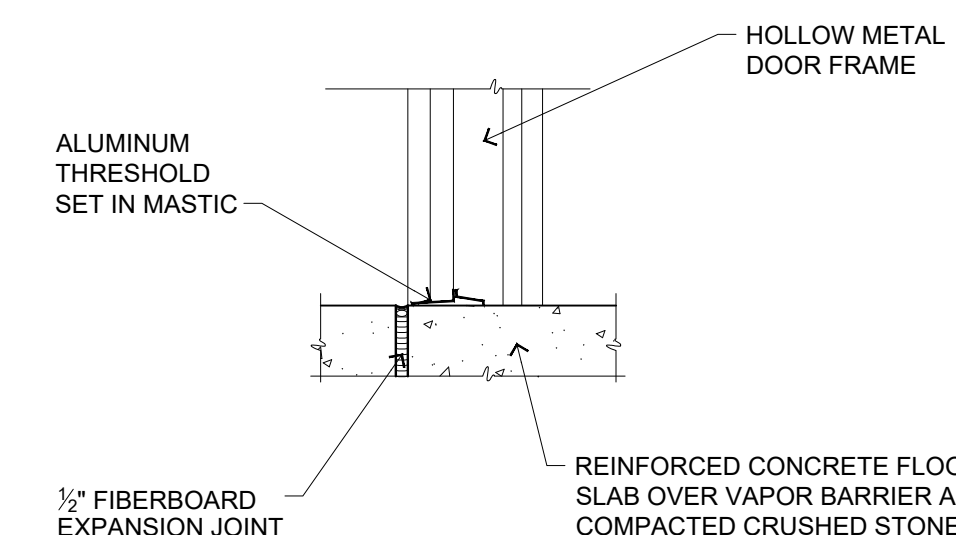
JAM DETAIL || B5
3" = 1'-0" :SCALE || A501



MBM WDW JAMB DETAIL || B4
3" = 1'-0" :SCALE || A501



HEAD DETAIL || B2
1 1/2" = 1'-0" :SCALE || A501



THRESHOLD DETAIL || A2
3" = 1'-0" :SCALE || A501

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