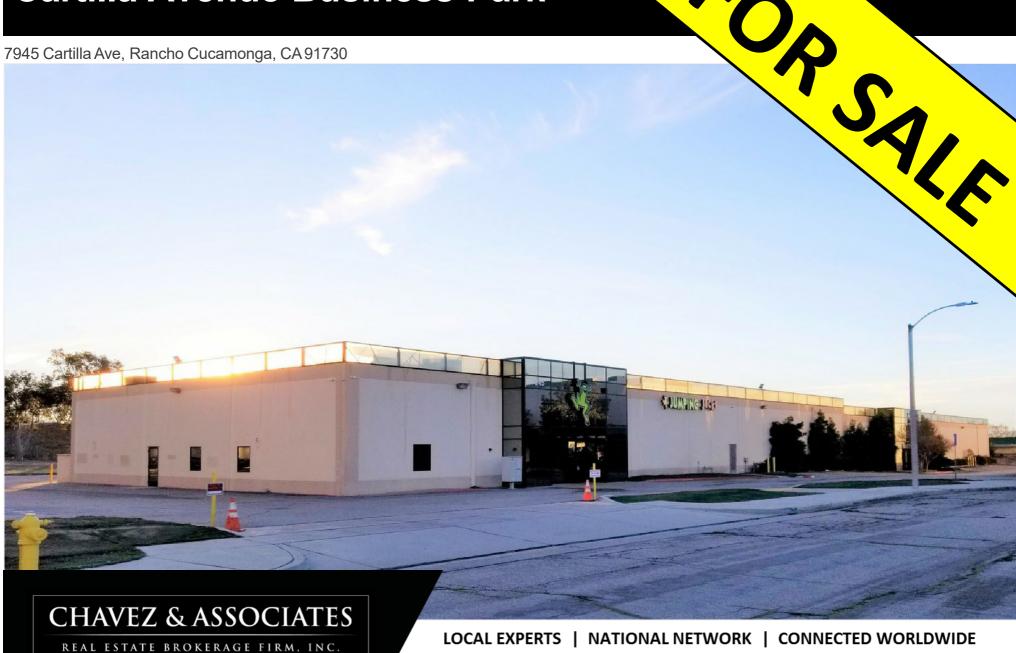
CalDRE Lic.# 01928538



Eric S. Chavez, CCIM | 818.858.4233 | Ericsc@ca-rebf.com | CalDRE Lic.# 01397806 450 North Brand Boulevard, Suite 600, Glendale, CA 91203

7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Property Details

Cartilla Avenue Business Park is ideal for establishing, relocating or expanding a business. This Owner User opportunity consist of 24,000+/- square foot multi-purpose Medical, Retail, Service, Office R&D building that was built in 1973, upgrade in 2016 and is located on 2.8 +/- acres (121,968 +/- Sq.Ft.) of land that provides abundant parking and/or expand the existing facility. Sine the building is zoned Industrial Park (IP) the building is designed to allow its occupants flexibility of alternative uses of the space for one (1) single user or multiple users.

The City of Rancho Cucamonga offers business owners with a number of advantages like the Ontario International Airport, international trade resources, access to the Ports of Long Beach and Los Angeles as well as a transportation corridor that stretches West to East along Interstate 10 freeway as well as connections directly to Canada and Mexico via Interstate 15.



Price: Property \$5,000,000

Type: Flex
Property Sub-type: R&D
Building Class: B

Sale Type: Investment or Owner User

Lot Size: 2.80 AC

Rentable Building

Area: 24,145SF

Building Area: 24,000 SF

A.P.N: 1077-401-18

No. Stories:

Year Built: 1973 / 2016

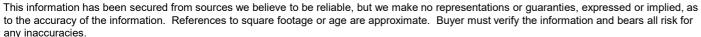
Tenancy: Multiple

Parking Ratio: 8/1,000 SF

Clear Ceiling Height: 18 FT

No. Drive In / Grade- 4

Level Doors:





7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Major Tenant Information

Tenant SF Occupied

Jumping Jacks 20,000 Lexxiom Inc 4,000

Sale Highlights

- Approximate 24,000 SF
- Abundant parking up to 8:1,000 possible (Buyer to Verify)
- Freestanding Building with Large Yard
- Four (4) Drive-In Doors (Buyer to Verify)
- Located near to the 10, 210 and 15 Freeways
- 1200 Amps 277/480 Volts (Buyer to Verify)

Cartilla Avenue Business Park building is in a city that is crowned by its majestic mountains and highlighted by scenic views, tree-lined neighborhoods, and a comfortable climate, Rancho Cucamonga is one of Southern California's most prestigious communities. Rancho Cucamonga's pro-business environment, competitive commercial and industrial lease rates, abundant skilled work force, and corporate environment make it the perfect location for beginning, relocating and expanding your business.



Cartilla Avenue Business Park building is located near the major intersection of Foothill Boulevard and Haven Avenue and off of Haven Avenue North of I-10 Freeway and is only 35 miles from Los Angeles and uniquely positioned as the center of Los Angeles, Orange, San Bernardino and Riverside Counties.

Property owner will also entertain the idea of selling its business know as Jumping Jacks, contact broker for further information.



7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Location



7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Chris Bell 714-800-3222 c.bell@contactspectrum.com



SMALL BUSINESS ADMINISTRATION (SBA) 504 LOAN SCENARIO

Bank 1st Trust Deed

SBA 2nd Trust Deed

Loan Amount:	\$2,500,000	Loan Amount:	\$2,000,000
Amortization:	25 Years	Amortization:	25 Years
Maturity:	25 Years	Maturity:	25 Years
Rate:	5.25% est.	Rate:	4.75% est.
Payment:	\$14,981	Payment:	\$11,402

Total Monthly Payment: \$26,303

Property Sq. Footage: 24,000

Project Amount: \$5,000,000 Monthly Price / Sq. Ft.: \$1.09

Down Payment/Equity: \$500,000 (10%)

Rates, terms, and condition are subject to formal underwriting and approval.



7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Property Photos





7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Property Photos





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Property Photos







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Property Photos







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Property Photos





7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Property Photos





7945 Cartilla Ave Industrial Park

7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Property Photos







7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Property Photos







7945 Cartilla Ave, Rancho Cucamonga, CA 91730

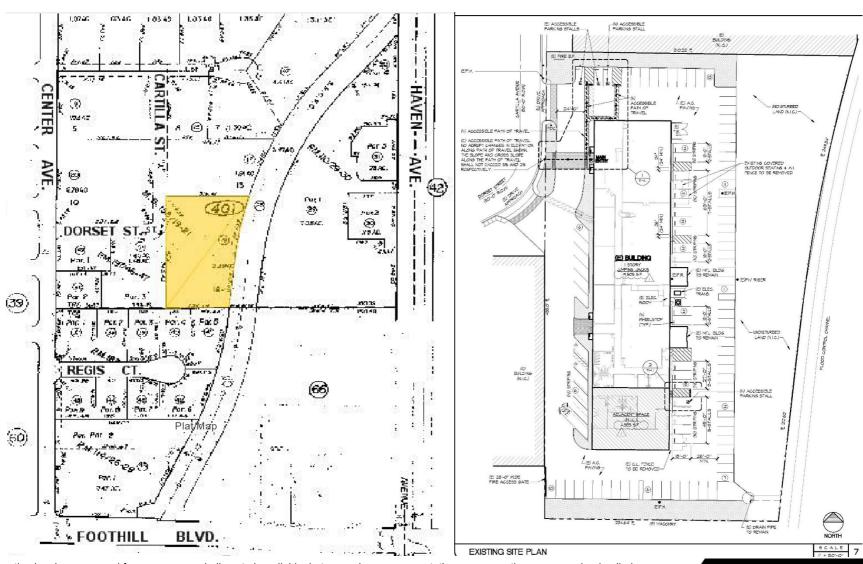
Property Photos





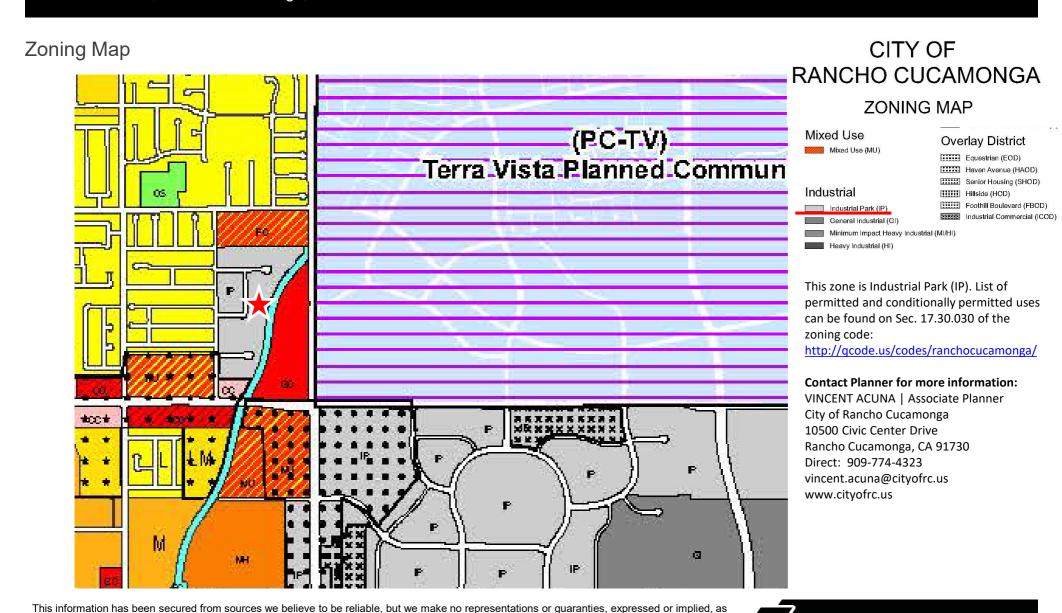


7945 Cartilla Ave, Rancho Cucamonga, CA 91730



7945 Cartilla Ave, Rancho Cucamonga, CA 91730

any inaccuracies.



to the accuracy of the information. References to square footage or age are approximate. Buyer must verify the information and bears all risk for

7945 Cartilla Ave, Rancho Cucamonga, CA 91730

Permitted Uses under Industrial Park (IP)

reminited Oses under midustraik (IF)	
Land Use/Zoning District	IP
Recreation, Resource Preservation, Open Space, Education, and Public Assembly Uses	
Community Center/Civic Use	P
School, Academic (Public)	P
Tutoring Center—Small	P
Utility, Transportation, Public Facility, and Communication Uses	·
Broadcasting and Recording Studios	P
Parking Facility	P
Utility Facility and Infrastructure—Pipelines (5) Utility facilities and infrastructure involving hazardous or volatile gas and/or liquid pipeline development require approval of a Conditional Use Permit.	P
Retail, Service, and Office Uses	·
Banks and Financial Services	P
Business Support Services	P
Hotel and Motel	P
Internet Café	P
Massage Establishment, Ancillary (14) Massage establishment permit required. See additional regulations for massage establishments in chapter 5.18.	P
Medical Services, Extended Care	P
Medical Services, General	P
Medical Services, Hospitals	P
Office, Business and Professional	P
Office, Accessory	P
Personal Services	P
Restaurant, No Liquor Service	P
Restaurant, Beer and Wine	P
Retail, Warehouse Club	P
Auto and Vehicle Sales, Autobroker	P
Auto and Vehicle Sales, Wholesale	P
Vehicle Services, Minor	P
Industrial, Manufacturing, and Processing Uses	
Commercial (Secondary/Accessory) - Industrial	P
Manufacturing, Custom	P
Manufacturing, Light	P
Manufacturing, Medium (9) Not permitted within 300 feet of residentially zoned property.	P
Microbrewery	P
Printing and Publishing	P
Research and Development	P
Wholesale, Storage, and Distribution - Light	P



JUMPING JACKS T.I.

7945 CARTILLA AVE. RANCHO CUCAMONGA, CA 91730

> SCOPE OF WORK TENANT IMPROVEMENT PLANS FOR INDOOR GYM FACILITY APPROVED UNDER CUP DRC2016-00288



(E) ACCESSIBLE (N) ACCESSIBLE PARKING STALLS-PARKING STALL BUILDING (E)F.H. ---∠(E) A.C. - UNDISTURBED I PATH OF PAVING LAND (N.I.C.)— SCALE (N) ACCESSIBLE PATH OF TRAVEL (E) ACCESSIBLE PATH OF TRAVEL. BUILDING DEPARTMENT: CITY OF RANCHO CUCAMONGA NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHOWN. APPLICABLE CODES: 2013 C.B.C (2012 I.B.C.) THE SLOPE AND CROSS SLOPE 2013 C.P.C ALONG THE PATH OF TRAVEL - EXISTING COVERED 2013 C.M.C SHALL NOT EXCEED 5% AND 2% OUTDOOR SEATING & W.I. RESPECTIVELY. — 2013 C.E.C FENCE TO BE REMOVED 2013 C.F.C. 2013 CA. ENERGY STANDARDS 2013 CGBC BUILDING STORIES: ONE FLOOR NO. OF AREA OF WORK: CONSTRUCTION TYPE: V-B (SPRINKLERED) OCCUPANCY: A-3 / B BUILDING SPRINKLERED: YES AREA OF WORK SPRINKLERED: TOTAL AREA OF WORK: 19,505 SQ. FT. ATTN. SAM TADROS 304 N. ORANGE AVE. WEST COVINA, CA. 91790 PH. (909) 989-6820 TYPE OF BUSINESS: INDOOR GYMNASTICS (E) BUILDING TOTAL PARKING PROVIDED: <u>105 STALLS</u> (IOI STD. STALLS + 4 ACCESSIBLE STALLS) −(E) MTL. BLDG. 19,505 S.F. TO REMAIN_ (E)PIV RISER ALLOWABLE BUILDING AREA JUSTIFICATION: (E) ELEC. THIS IS A MIXED OCCUPANCY BUILDING, WITH "NON SEPARATED" OCCUPANCIES, AS TRANS. PER CBC SECTION 508.3 (E) ELEC. ALLOWABLE FLOOR AREA PER MIXED OCCUPANCIES (SEC. 506.1 \$ 506.2.1) ROOM -BASIC ALLOWABLE AREA (A-3 OCC.) ALLOWABLE AREA INCREASE WHEELSTOP (EQUATIONS 5-1 \$ 5-2 PER SEC 506) - $A_a = \{A_t + [A_t \times I_t] + [A_t \times I_s]\}$ EQUATION 5-1 - UNDISTURBED −(E) MTL. BLDG. |Aa= ALLOWABLE AREA PER STORY TO REMAIN LAND (N.I.C.)-At = ALLOWABLE AREA PER TABLE 503 (S.F.)
It = AREA INCREASE FACTOR DUE TO FRONTAGE, 6,000 S.F = AREA INCREASE FACTOR DUE TO SPRINKLER PROTECTION PER SEC. 506.3 $I_{f} = [F/P - 0.25] W/30$ EQUATION 5-2 | P = BUILDING PERIMETER THAT FRONTS ON BUILDING PUBLIC WAY OR OPEN SPACE 20' OR MORE F = PERIMETER OF ENTIRE BUILDING W = AVERAGE WIDTH OF PUBLIC WAY OR OPEN SPACE PER SEC. 506.2.1 PARKING STALL - | $_{\rm f}$ = [F/P-0.25]W / 30 |_f = [791'/791'-0.25]30 / 30 lf = [1.0]30 / 30 ADJACENT SPACE \rightarrow A = {A_t+ [A_t×|_f] + [A_t×|_s] } 4,533 \$.F. $A_a = \{ 6,000 + [6,000x1] + [6,000x3] \}$ A_a = 6,000+ 6,000 + 18,000 = 30,000 TOTAL ALLOWABLE AREA INCREASE: -EXISTING BUILDING AREA: 24,038 SQ. FT. < 30,000 SQ. FT. ∠(E) A.C. (E) C.L. FENCE PAVING-PLUMBING TABULATION TO BE REMOVED-(2013 C.P.C. TABLE 422.1 & TABLE A) (E) 28'-0" WIDE FIRE ACCESS GATE -BUILDING AREA: 19,505 SF. LESS ACCESSORY AREAS: 3,075 SF. 16,430 SF. (E)F.H. 16,430 SF. / 30 (GROUP A3) = 548 OCC. 274 MALE ---> 3 M.C., 4 LAVS., 3 URINALS 234.64' PL (E) MASONRY

(E) DRAIN PIPE

TO REMAIN

LIFE SAFETY/FIRE ALL ALTERATIONS TO THE SAFETY MUST COMPLY WITH CALIFORNIA ADMINISTRATIVE FIRE DEPARTMENT FINAL INSPECTION REQUIRED. SCHEDULE ALL INSPECTIONS 24 HOURS IN ADVANCE

ALL WORK SHALL COMPLY WITH THE FOLLOWING

CONSTRUCTION COMPLETION DATE

2013 CALIFORNIA BUILDING CODE

THOSE REGULATIONS

C. CITY OF RANCHO CUCAMONGA MUNICIPAL CODE

CORRECTED BY THE CONTRACTOR AT HIS EXPENSE

3. CALIFORNIA ADMINISTRATIVE CODE TITLES 8, 19 AND 24

A. 2013 EDITION OF THE CALIFORNIA BUILDING CODE AND LATEST AMENDMENTS

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND

OF SPECIFIED MATERIALS OR EQUIPMENT WHICH WILL DELAY THE SCHEDULED

LEFT CLEAN AND READY FOR EITHER THE NEXT TRADE OR OCCUPANCY

PRIOR APPROVAL OF BONALDO ENGINEERING OR THE OWNER, SHALL BE

STANDARDS FOR NONRESIDENTIAL BUILDINGS HAVE BEEN REVIEWED AND THE

THE BUILDING COMPLIES WITH TITLE-24, AND A.D.A. HANDICAP REQUIREMENTS ON

ENTRANCE PATH OF TRAVEL TO AREAS BEING REMODELLED AND RESTROOMS

. BUSINESS LICENSE REQUIRED FOR ALL SUB CONTRACTORS PRIOR TO PERMIT

DIMENSIONS AT THE JOB SITE PRIOR TO BIDDING AND START OF CONSTRUCTION, IF DISCREPANCIES ARE FOUND, NOTIFY DESIGNER IMMEDIATELY FOR CLARIFICATIONS

SUBSTITUTIONS FOR SPECIFIED MATERIALS REQUIRE THE APPROVAL OF BONALDO

KEY TO BE PROVIDED TO INSPECTOR FOR KNOX BOX FLOOR COVERING TO COMPLY WITH UFC APPENDIX IV-A PROVIDE 2AIOBC MINIMUM RATED FIRE EXTINGUISHERS LOCATED WITH 15 FEET OF TRAVEL DISTANCE FROM ALL AREAS. EXACT LOCATIONS TO BE APPROVED BY LOCAL FIRE DEPARTMENT

6. NO HAZARDOUS MATERIALS, LIQUIDS OR CHEMICALS SHALL BE STORED PR USED WITHIN THE SUBJECT BUILDING AS TO REQUIRE A HAZARDOUS CLASSIFICATION PER THE UNIFORM BUILDING CODE STORAGE OF FLAMMABLE LIQUIDS IS NOT PERMITTED UNLESS APPROVED BY LOCAL

6. ANY FIRE SPRINKLER ALTERATIONS OR FIRE SPRINKLER PLAN SHALL BE ON A 9. IF HVAC IS GREATER THAN 2000 CFM COMBINED, SMOKE DETECTORS SHALL BE PROVIDED AT SUPPLY PLENTUMN

FIRE DEPARTMENT AND IN ACCORDANCE WITH THE FIRE CODE

(IO. PROVIDE SIGN AT EXIT DOORS THAT "DOORS ARE TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" PROVIDE SUITE NO. AT FRONT AND BACK DOORS

12. TENANT TO COMPLETE CONFIDENTIAL BUSINESS OCCUPANCY INFORMATION FORM PRIOR TO FINAL FIRE INSPECTION

13. EMERGENCY EXIT LIGHTS TO BE PER CODE THE MEANS OF EGRESS SERVING ANY OCCUPIED PORTION OF THE BUILDING

SHALL BE ILLUMINATED TO AN INTENSITY OF NOT LESS THAN (1) ONE FOOT CANDLE AT THE FOOT LEVEL. IN THE EVENT OF A POWER OUTAGE, AUTOMATIC ILLUMINATION SHALL BE PROVIDED BY A BATTERY BACK-UP SYSTEM. EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY APPROVED EXIT SIGNS

READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. LOCATION OF EXIT SIGNS SHALL BE IN ACCORDANCE WITH CBC, SECTION 1011,1

. EXITS/ENTRANCES/DOORS

INSTALL EMERGENCY EXIT SIGN WHERE INDICATED. 2. ALL EXIT DOORS TO HAVE SELF RELEASING HARDWARE AND BE OPENABLE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT (1008.1.8). MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED. WHEN EXIT DOORS ARE IN PAIRS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOB OR SURFACE MOUNTED HARDWARE. THE UNLATCHING OF ANY

LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. FIRE RATED DOOR AND FRAME ASSEMBLIES SHALL BE LABELED AND EQUIPPED WITH SELF CLOSURES OR SMOKE AND HEAT ACTUATED AUTOMATIC CLOSURES. DOOR HEADS, JAMBS AND SILLS SHALL HAVE CONTINUOS SEALS, ASTRAGALS OR

4. GLASS DOORS SHALL HAVE MINIMUM 1/2 INCH THICK FULLY TEMPERED GLASS COMPLYING WITH APPLICABLE CODES.

ALL EXTERIOR DOORS SHALL COMPLY WITH SECTION T-24-1495 (D) OF THE TITLE 24, PART 6, DIVISION-20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 2 OF THE CALIFORNIA ADMINISTRATIVE CODE.

A. DOOR HEADS, SILLS AND JAMBS MUST HAVE SEALS, ASTRAGALS OR BAFFLES. B. SWING DOORS MUST BE WEATHER STRIPPED. DOORS MOUNTED BETWEEN THE JAMBS MUST HAVE A CONTINUOUS

SEAL OR BAFFLE AT EACH JAMB. HAND ACTIVATED DOOR OPENING HARDWARE TO BE MOUNTED 30" TO 44" A.F.F. AND BE OPENABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.

MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5.0 POUNDS FOR EXTERIOR DOORS AND 5.0 POUNDS FOR INTERIOR DOORS.

8. THE BOTTOM IO" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE. 9. MAXIMUM HEIGHT OF THRESHOLD TO BE 1/2". MAXIMUM VERTICAL CHANGE AT

EDGES IS 1/4" WITH A MAXIMUM BEVEL OF 45 DEGREES. IO. THE FLOOR ADJACENT TO A DOORWAY SHALL BE LEVEL AND CLEAR FOR A MINIMUM DEPTH OF 60" IN THE DIRECTION THE DOOR SMINGS AND 48" IF SMINGING AWAY. THE FLOOR SHALL EXTEND BEYOND THE STRIKE EDGE 24" FOR EXTERIOR DOORS AND 18" FOR INTERIOR DOORS

ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVEABLE HINGE PINS. IN ADDITION, THEY SHALL HAVE A MINIMUM 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROJECTION UNLESS THE HINGES ARE SHAPED TO PREVENT REMOVAL OF THE DOOR IF THE HINGE PINS ARE REMOVED. * 12. CITY INSPECTOR TO VERIFY EXISTING FACILITIES ARE PROVIDED TO ACCESS AREA

COVERED UNDER THIS APPROVED PLAN.

WALLS/FINISHES

METAL FRAMING, STUDS, ETC. SHALL BE AS MANUFACTURED BY "METAL STUD MANUFACTURERS ASSOCIATION" I.C.B.O REPORT SSMA ER# 4943

POWDER DRIVEN, SELF DRILL OR SLEEVED FASTENERS SHALL BE AS MANUFACTURED BY "ITW RAMSET/RED-HEAD," ESR-#1137 OR "HILTI," ESR REPORT #1663 OR APPROVED EQUAL. 3. GYPSUM WALLBOARD SHALL BE ATTACHED TO METAL STUDS/BRACING AS

A. NON-FIRE RATED PARTITION: I" (MIN.) TYPE S, DRYWALL SCREWS AT MINIMUM T ON CENTER ALONG HORIZONTAL AND VERTICAL EDGES AND 12" ON CENTER AT

B. ONE HOUR FIRE RATED PARTITION: I" (MIN.) TYPE S, DRYWALL SCREWS AT MINIMUM 7" ON CENTER ALONG HORIZONTAL AND VERTICAL EDGES AND 12" ON CENTER MINIMUM ALONG INTERMEDIATE SUPPORTS.

4. INTERIOR PARTITIONS TO COMPLY WITH STRENGTH AND DEFLECTION CRITERIA SPECIFIED IN AISI-WD SECTION 2304.3.4 5. INTERIOR FINISH SHALL CONFORM WITH TITLE 19 OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTER & OF THE CALIFORNIA BUILDING CODE FOR FLAME SPREAD

THIS T.I. MEETS THE THRESHOLD FOR THE CONSTRUCTION AND DEMOLITION DIVERSION PROGRAM. THE PROGRAM REQUIRES 50% OF THE WASTE GENERATED AT THE WORKSITE TO BE DIVERTED FROM LANDFILL BY RECYCLING. CONTRACTOR TO CONTACT ENVIRONMENTAL PROGRAMS AT (909) 477-2740 FOR FURTHER DETAILS ON THIS PROGRAM.

ANY MODIFICATIONS TO THE FIRE ALARM AND FIRE

SPRINKLER SYSTEM MUST BE SUBMITTED FOR REVIEW

AND APPROVAL PER SEPARATE PERMIT. A FIRE

ALARM WITH FULL NOTIFICATION IS REQUIRED.

BONALDO DESIGN GROUP SHALL BE NOTIFIED IMMEDIATELY OF THE UNAVAILABILITY CONDITIONS OF APPROVAL EXISTING / DEMO FLOOR PLAN ALL CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE FROM ALL TRASH AND DEBRIS. THE FIXTURES, EQUIPMENT GLAZING, FLOORS, ETC. SHALL BE PROPOSED FLOOR PLAN TI-2.3 ANY WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DRAWINGS, WITHOUT THE EMERGENCY EGRESS PLAN TI-3.1 REFLECTED CEILING PLAN LIGHT, VENTILATION AND SANITATION SHALL COMPLY WITH SECTION 1202-3.4 OF THE SUSPENDED CEILING REQUIREMENTS THE TITLE-24 ACCESS REGULATIONS AND THE TITLE-24 ENERGY CONSERVATION TI-4.1 DETAILS DESIGN, DRAWINGS AND CALCULATIONS SUBMITTED CONFORM SUBSTANTIALLY WITH 1-4.2 DETAILS FINISH SCHEDULE, ACCESSIBLE RESTROOMS ACCESSIBILITY STD. DETAILS & NOTES TI-6 FIRE PREVENTION STD. NOTES S-I RAMP FRAMING PLANS & DETAILS EXISTING ROOF FRAMING PLAN S-3 H-FRAME DETAILS E-0.1 ELECTRICAL LEGENDS & NOTES E-0.2 LUMINAIRE SCHEDULE SINGLE-LINE DIAGRAM & PANEL SCHEDULES E-0.4 TITLE 24 COMPLIANCE DOCUMENTS TITLE 24 COMPLIANCE DOCUMENTS E-0.6 TITLE 24 COMPLIANCE DOCUMENTS POWER & SIGNAL FLOOR PLAN ELECTRICAL ROOF PLAN E-3.1 LIGHTING FLOOR PLAN E-3.2 EGRESS PHOTOMETRIC PLAN E-4.1 ELECTRICAL DETAILS E-5.1 ELECTRICAL SPECIFICATIONS ELECTRICAL SPECIFICATIONS M-0.1 MECHANICAL LEGENDS, NOTES & SCHEDULES MECHANICAL TITLE 24 REQUIREMENTS M-0.3 MECHANICAL TITLE 24 REQUIREMENTS MECHANICAL TITLE 24 REQUIREMENTS MECHANICAL TITLE 24 REQUIREMENTS MECHANICAL TITLE 24 REQUIREMENTS M-0.7 MECHANICAL TITLE 24 REQUIREMENTS MECHANICAL TITLE 24 REQUIREMENTS 1-0.9 MECHANICAL TITLE 24 REQUIREMENTS MECHANICAL TITLE 24 REQUIREMENTS MECHANICAL DEMOLITION FLOOR PLAN MECHANICAL REMODEL FLOOR PLAN MECHANICAL ROOF FLOOR PLAN M-3. MECHANICAL DETAILS MECHANICAL DETAILS P-0.1 PLUMBING LEGENDS, NOTES & SCHEDULES PLUMBING DEMOLITION FLOOR PLAN P-1.2 | PLUMBING REMODEL FLOOR PLAN PLUMBING REMODEL ENLARGED FLOOR PLANS P-3. | PLUMBING DETAILS SCALE DRAWING INDEX N.T.S THESE NOTES SHALL APPLY UNLESS OTHERWISE NOTED ON PLANS All work shall be in accordance with the 2013 C.B.C. and/or local building codes.

DESCRIPTION

DRAWING INDEX, NOTES & SITE PLAN

SITE DETAILS

2. <u>Design soil bearing</u> is 1,500 p.s.f. per table 1804 of the 2013 C.B.C.

3. <u>All footings</u> shall have a depth below undisturbed ground surface or approved compacted fill of 18" min. for two story and 12" min. for one story. 4. Concrete shall be 2,500 p.s.i. at 28 days.

5. <u>Rebar</u> shall be deformed A.S.T.M. A615 grade 40. Splice bars with 25 diameters minimum lap in concrete, and 50 diameters minimum lap in masonry.

6. Concrete block shall be lightweight units conforming to A.S.T.M. Grade 90, special inspection not required, $f'm = 1,500 \overline{U}.N.O.$

Mortar mix shall be type "5" per table 2103.8(1)/(2). of the 2013 C.B.C. 8. Grout shall conform to Table 2103.12 of the 2013 C.B.C. or to ASTM C 476. When grout

conforms to ASTM C 476, the grout shall be specified by proportion requirements or property

9. <u>Lumber</u> shall be grade stamped by an approved agency, W.W.P.A., W.C.L.B., or equal. Unless noted, lumber shall be as follows

2x4 studs: Stud grade D.F.-L. 2x6 studs: Stud grade D.F.-L. or #3 D.F.-L.

2x wall plates: Const. grade D.F.-L. or #2 D.F.-L. 2x rafters and joists: #2 D.F.-L.

<u>Holes for bolts in steel</u> shall be bolt diameter + 1/16" max.

4x beams: #2 D.F.-L.

6× beams: #1 D.F.-L. 4x posts: Const. grade D.F.-L. or #2 D.F.-L.

6x posts: #| D.F.-L 10. <u>Mood plates</u> on concrete shall be pressure treated D.F.-L. or Foundation Grade Redwood.

<u>Plywood</u> shall be grade stamped by the A.P.A. or equal in conformance with U.S. Product Standard PS 1-83, and shall be Structural I, Exposure I, unless noted otherwise. 12. <u>Miscellaneous steel</u> shall conform to A.S.T.M. specification for minimum yield strength of 36,000

13. All welding shall be done by a certified welder in an approved shop, or in the field with special

inspection, unless approved otherwise by building officials. 14. <u>Hole for bolts in wood</u> shall be bolt diameter + 1/16" max.

15. Metal framing connectors for wood connections shall be Simpson Strong-Tie. 16. Anchor bolts, rebar, post bases, holdowns, etc. shall be accurately located and tied in place

prior to pouring of concrete.

1. <u>Nailing</u> of wood members shall be in accordance with Table 2304.9.1 of the 2013 C.B.C.

18. <u>Bolts</u> and all-thread rods shall be A.S.T.M. grade A-307. 19. All framing shall be in accordance with Sect. 2308 of the 2013 C.B.C.

20. <u>Plumbing, electrical, and mechanical designs</u> shall be in accordance with the applicable codes. 21. Contractor shall verify all dimensions and conditions as shown on plans. Engineer or Designer shall be notified of any discrepancies.

- PENETRATIONS OF FIRE RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 113 - WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD

CLASSIFICATIONS IN CBC TABLE 803.9 - DRAFTSTOPPING AND FIREBLOCKING FROM SECTION 717 WILL BE INSTALLED (COMBUSTIBLE CONSTRUCTION)

EXISTING SITE PLAN

SCALE l" = 30'-0"

NORTH

SITE INFORMATION / PLUMBING COUNT

274 FEMALE ---> 6 W.C., 4 LAVS.

BUILDING NOTES

SCALE

GENERAL NOTES

SCALE

