

# Cartilla Avenue Business Park

7945 Cartilla Ave, Rancho Cucamonga, CA 91730

**FOR SALE**



**CHAVEZ & ASSOCIATES**

REAL ESTATE BROKERAGE FIRM, INC.

CaDRE Lic.# 01928538

**LOCAL EXPERTS | NATIONAL NETWORK | CONNECTED WORLDWIDE**

Eric S. Chavez, CCIM | 818.858.4233 | [Ericsc@ca-rebf.com](mailto:Ericsc@ca-rebf.com) | CaDRE Lic.# 01397806  
450 North Brand Boulevard, Suite 600, Glendale, CA 91203

# Cartilla Avenue Business Park

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## Property Details

Cartilla Avenue Business Park is ideal for establishing, relocating or expanding a business. This Owner User opportunity consist of 24,000+/- square foot multi-purpose Medical, Retail, Service, Office R&D building that was built in 1973, upgrade in 2016 and is located on 2.8 +/- acres (121,968 +/- Sq.Ft.) of land that provides abundant parking and/or expand the existing facility. Sine the building is zoned Industrial Park (IP) the building is designed to allow its occupants flexibility of alternative uses of the space for one (1) single user or multiple users.

The City of Rancho Cucamonga offers business owners with a number of advantages like the Ontario International Airport, international trade resources, access to the Ports of Long Beach and Los Angeles as well as a transportation corridor that stretches West to East along Interstate 10 freeway as well as connections directly to Canada and Mexico via Interstate 15.



This information has been secured from sources we believe to be reliable, but we make no representations or guaranties, expressed or implied, as to the accuracy of the information. References to square footage or age are approximate. Buyer must verify the information and bears all risk for any inaccuracies.

Price: Property	\$5,000,000
Type:	Flex
Property Sub-type:	R&D
Building Class:	B
Sale Type:	Investment or Owner User
Lot Size:	2.80 AC
Rentable Building Area:	24,145SF
Building Area:	24,000 SF
A.P.N:	1077-401-18
No. Stories:	1
Year Built:	1973 / 2016
Tenancy:	Multiple
Parking Ratio:	8/1,000 SF
Clear Ceiling Height:	18 FT
No. Drive In / Grade-Level Doors:	4



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## Major Tenant Information

Tenant	SF Occupied
Jumping Jacks	20,000
Lexxiom Inc	4,000

## Sale Highlights

- Approximate 24,000 SF
- Abundant parking up to 8:1,000 possible (Buyer to Verify)
- Freestanding Building with Large Yard
- Four (4) Drive-In Doors (Buyer to Verify)
- Located near to the 10, 210 and 15 Freeways
- 1200 Amps 277/480 Volts (Buyer to Verify)

Cartilla Avenue Business Park building is in a city that is crowned by its majestic mountains and highlighted by scenic views, tree-lined neighborhoods, and a comfortable climate, Rancho Cucamonga is one of Southern California's most prestigious communities. Rancho Cucamonga's pro-business environment, competitive commercial and industrial lease rates, abundant skilled work force, and corporate environment make it the perfect location for beginning, relocating and expanding your business.

Cartilla Avenue Business Park building is located near the major intersection of Foothill Boulevard and Haven Avenue and off of Haven Avenue North of I-10 Freeway and is only 35 miles from Los Angeles and uniquely positioned as the center of Los Angeles, Orange, San Bernardino and Riverside Counties.

Property owner will also entertain the idea of selling its business know as Jumping Jacks, contact broker for further information.

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## Location



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Chris Bell  
714-800-3222  
c.bell@contactspectrum.com



## SMALL BUSINESS ADMINISTRATION (SBA) 504 LOAN SCENARIO

### Bank 1<sup>st</sup> Trust Deed

Loan Amount:	\$2,500,000
Amortization:	25 Years
Maturity:	25 Years
Rate:	5.25% est.
Payment:	\$14,981
Property Sq. Footage:	24,000
Project Amount:	\$5,000,000
Down Payment/Equity:	\$500,000 (10%)

### SBA 2<sup>nd</sup> Trust Deed

Loan Amount:	\$2,000,000
Amortization:	25 Years
Maturity:	25 Years
Rate:	4.75% est.
Payment:	\$11,402
<b>Total Monthly Payment:</b>	<b>\$26,303</b>
Monthly Price / Sq. Ft.:	<b>\$1.09</b>

*Rates, terms, and condition are subject to formal underwriting and approval.*

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# 7945 Cartilla Ave Industrial Park

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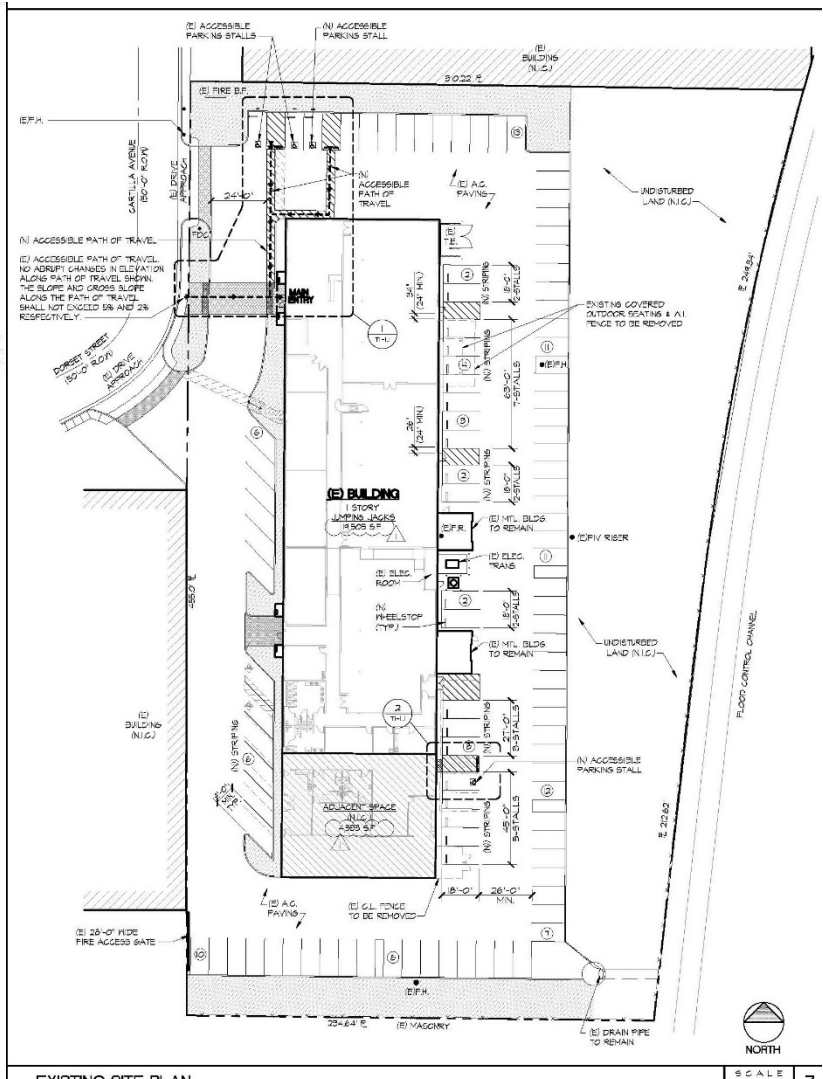
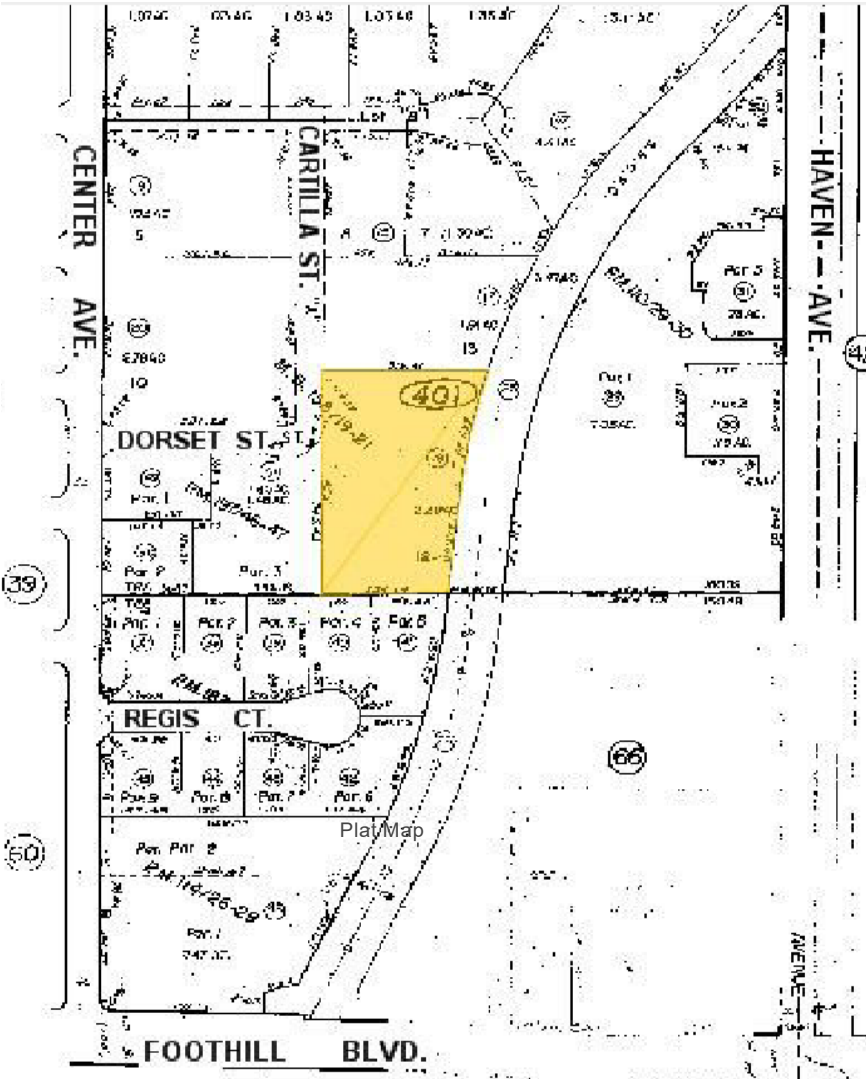


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EXISTING SITE PLAN

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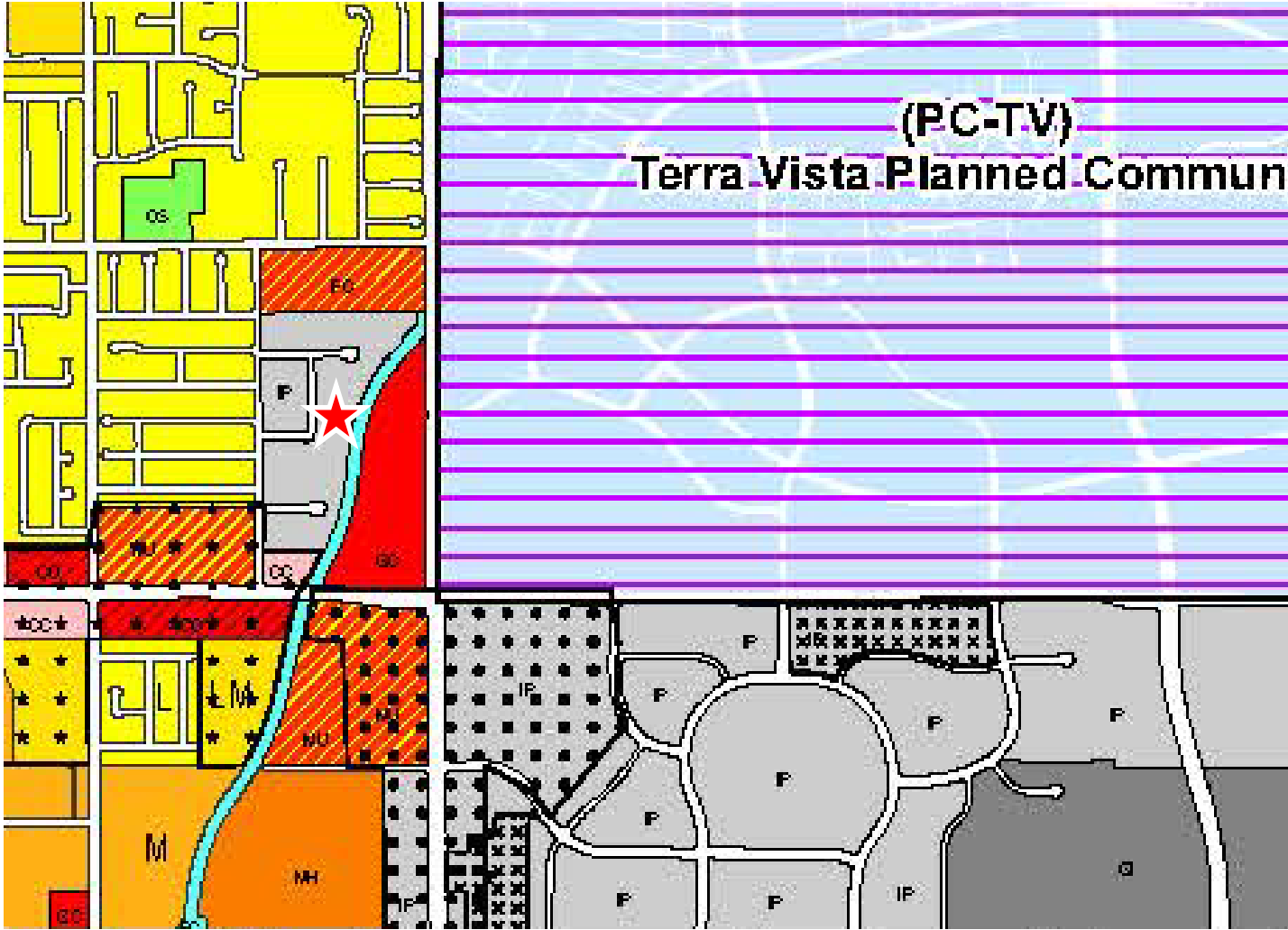


# Cartilla Avenue Business Park

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## Zoning Map

## CITY OF RANCHO CUCAMONGA ZONING MAP



- |  |                             |
|--|-----------------------------|
| <b>Mixed Use</b>                       | <b>Overlay District</b>     |
| Mixed Use (MU)                         | Equestrian (EOD)            |
|  | Haven Avenue (HAOD)         |
| <b>Industrial</b>                      | Senior Housing (SHOD)       |
| Industrial Park (IP)                   | Hillside (HOD)              |
| General Industrial (GI)                | Foothill Boulevard (FBOD)   |
| Minimum Impact Heavy Industrial (M/HI) | Industrial Commercial (COD) |
| Heavy Industrial (HI)                  |                             |

This zone is Industrial Park (IP). List of permitted and conditionally permitted uses can be found on Sec. 17.30.030 of the zoning code:  
<http://qcode.us/codes/ranchocucamonga/>

**Contact Planner for more information:**  
 VINCENT ACUNA | Associate Planner  
 City of Rancho Cucamonga  
 10500 Civic Center Drive  
 Rancho Cucamonga, CA 91730  
 Direct: 909-774-4323  
 vincent.acuna@cityofrc.us  
 www.cityofrc.us

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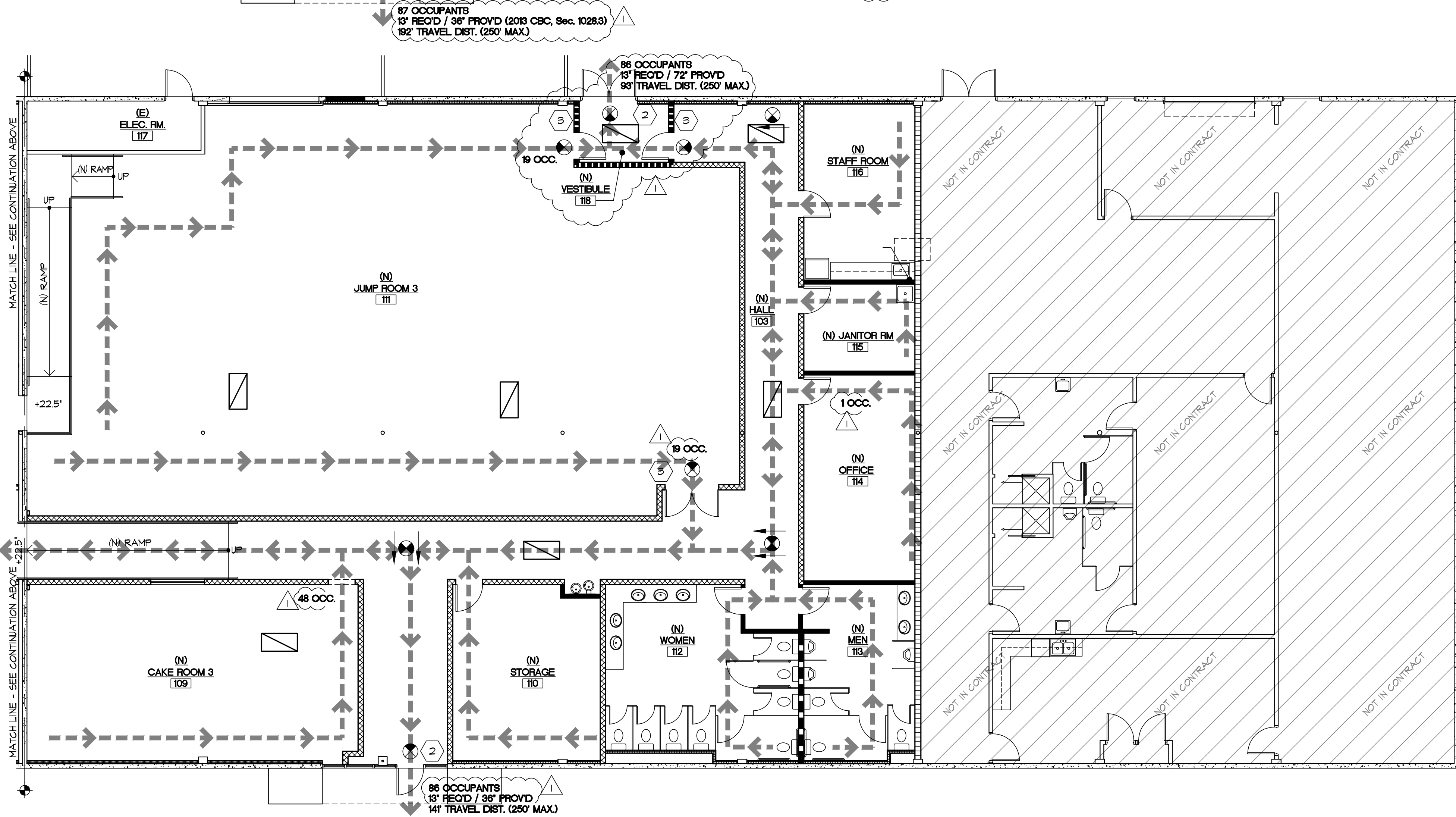
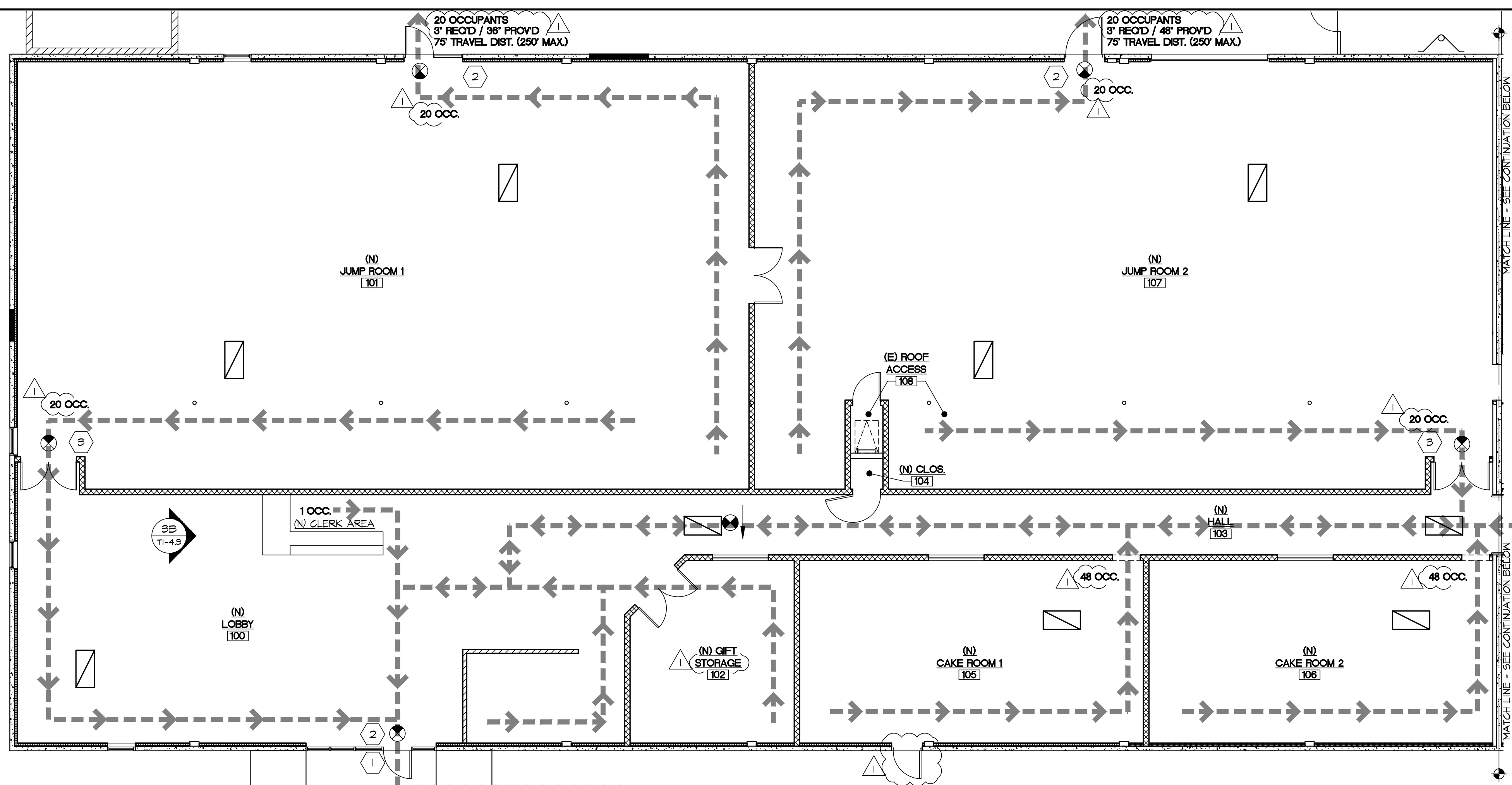
## Permitted Uses under Industrial Park (IP)

Land Use/Zoning District	IP
<b>Recreation, Resource Preservation, Open Space, Education, and Public Assembly Uses</b>	
Community Center/Civic Use	P
School, Academic (Public)	P
Tutoring Center—Small	P
<b>Utility, Transportation, Public Facility, and Communication Uses</b>	
Broadcasting and Recording Studios	P
Parking Facility	P
Utility Facility and Infrastructure—Pipelines (5) Utility facilities and infrastructure involving hazardous or volatile gas and/or liquid pipeline development require approval of a Conditional Use Permit.	P
<b>Retail, Service, and Office Uses</b>	
Banks and Financial Services	P
Business Support Services	P
Hotel and Motel	P
Internet Café	P
Massage Establishment, Ancillary (14) Massage establishment permit required. See additional regulations for massage establishments in chapter 5.18.	P
<b>Medical Services, Extended Care</b>	
<b>Medical Services, General</b>	
<b>Medical Services, Hospitals</b>	
Office, Business and Professional	P
Office, Accessory	P
Personal Services	P
Restaurant, No Liquor Service	P
Restaurant, Beer and Wine	P
Retail, Warehouse Club	P
Auto and Vehicle Sales, Autobroker	P
Auto and Vehicle Sales, Wholesale	P
Vehicle Services, Minor	P
<b>Industrial, Manufacturing, and Processing Uses</b>	
Commercial (Secondary/Accessory) - <b>Industrial</b>	P
Manufacturing, Custom	P
Manufacturing, Light	P
Manufacturing, Medium (9) Not permitted within 300 feet of residentially zoned property.	P
Microbrewery	P
Printing and Publishing	P
Research and Development	P
Wholesale, Storage, and Distribution - Light	P

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### LEGEND

- EXISTING EXTERIOR CONC. WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- NEW CEILING HEIGHT STL. STUD PARTITION WALL. SEE SHEET TI-4.2
- NEW FULL HEIGHT STL. STUD PARTITION WALL. SEE SHEET TI-4.1 & TI-4.2
- NEW FULL HEIGHT STL. STUD FURRING WALL. SEE SHEET TI-4.2
- NEW FULL-HEIGHT STL. STUD DEMISING WALL. SEE SHEET TI-4.1
- NEW LOW WALL STL. STUD WALL @ 48" A.F.F. SEE SHEET TI-4.2
- NEW STL. STUD PLUMBING WALL. SEE SHEET TI-4.2
- NEW 1-HR. FIRE RATED WALL. SEE DETAIL 4/TI-4.3
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- (EP) EXISTING ELECTRICAL PANEL
- F.E. PROVIDE (1) 2A10BC FIRE EXTINGUISHER FOR EACH 3000 SQ. FT. OF FLOOR AREA AT A MAX. OF 75' TRAVEL DISTANCE PER UFG SEC. 1002
- RECESSED EMERGENCY LIGHT FIXTURE 2x4' FLUORESCENT W/ 90-MIN. BATTERY BACK-UP. SEE ELECTRICAL PLANS FOR MORE INFO.
- SELF-ILLUMINATED EXIT LIGHT W/ 90-MIN. BATTERY BACKUP & DIRECTIONAL ARROWS AS INDICATED ON PLAN
- EMERGENCY EGRESS PATH (ARROWS SHOW DIRECTION OF TRAVEL)

- ### KEY NOTES
- 1 NOT USED
  - 2 (N) TACTILE EXIT SIGN @ 48"-60" A.F.F. STATING 'EXIT', REQUIRED AT ALL ACCESSIBLE EXITS CBC(11)7B.5.1
  - 3 (N) TACTILE EXIT SIGN @ 48"-60" A.F.F. STATING 'EXIT ROUTE' REQUIRED AT ALL EXITS TO CORRIDOR CBC(11)7B.5.1
  - 4 (N) SIGN STATING 'MAXIMUM CAPACITY: \_\_\_\_\_ OCCUPANTS' @ 60" A.F.F. TO C/L OF SIGN. SEE PLAN FOR NUMBER OF OCCUPANTS

- ### NOTES
1. CONTRACTOR TO CONTACT DESIGNER FOR ANY DISCREPANCIES BETWEEN THIS PLAN AND ELECTRICAL PLAN.
  2. THE MEANS OF EGRESS SERVING ANY OCCUPIED PORTION OF THE BUILDING SHALL BE ILLUMINATED TO AN INTENSITY OF NOT LESS THAN (1) ONE FOOT CANDLE AT THE FOOT LEVEL. IN THE EVENT OF A POWER FAILURE, AUTOMATIC ILLUMINATION SHALL BE PROVIDED BY A BATTERY BACK-UP SYSTEM FOR A DURATION OF NOT LESS THAN 1.5 HOURS. THIS APPLIES REGARDLESS OF OCCUPANT LOAD. CBC, SECTION 1006
  3. THE PATH OF EXIT TRAVEL TO AND WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011. LOCATION OF EXIT SIGNS SHALL BE IN ACCORDANCE WITH CBC SECTION 1011
  4. MEANS OF EGRESS SYSTEM SHALL HAVE CLEAR HEIGHT OF NOT LESS THAN 7'-6" MEASURED VERTICALLY FROM THE WALKING SURFACE TO THE LOWEST PROJECTION FROM THE CEILING OR OVERHEAD STRUCTURE (SEC. 1003.2)
  5. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
  6. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH
  7. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHEN THE FACE OF THE SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES FROM EITHER OF TWO ELECTRIC LAMPS. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE.

ROOM NAME	SQ. FT.	FACTOR	OCC. LOAD
LOBBY=50			
PLAY=90			
OFFICE=100			
ACCESSORY=0			
100 - (N) LOBBY	1,749	50	35
100A - (N) CLERK	85	100	1
101 - (N) JUMPROOM 1	3,595	30	40
102 - (N) GIFT STORAGE	329	ACCESSORY	-
103 - (N) HALL	1,756	ACCESSORY	-
104 - (N) CLOSET	12	ACCESSORY	-
105 - (N) CAKEROOM 1	725	15	48
106 - (N) CAKEROOM 2	725	15	48
107 - (N) JUMPROOM 2	3,585	30	40
108 - (E) ROOF ACCESS ROOM	18	ACCESSORY	-
109 - (N) CAKEROOM 2	725	15	48
110 - (N) STORAGE	317	ACCESSORY	-
111 - (N) JUMPROOM 3	3,387	30	35
112 - (N) WOMEN	375	ACCESSORY	-
113 - (N) MEN	240	ACCESSORY	-
114 - (N) OFFICE	285	1 PERSON	1
115 - (N) JANITOR RM.	121	ACCESSORY	-
116 - (N) STAFF ROOM	244	ACCESSORY	-
117 - (E) ELEC. ROOM	107	ACCESSORY	-
118 - (N) VESTIBULE	68	ACCESSORY	-
<b>TOTAL</b>	<b>18,448</b>		<b>299</b>

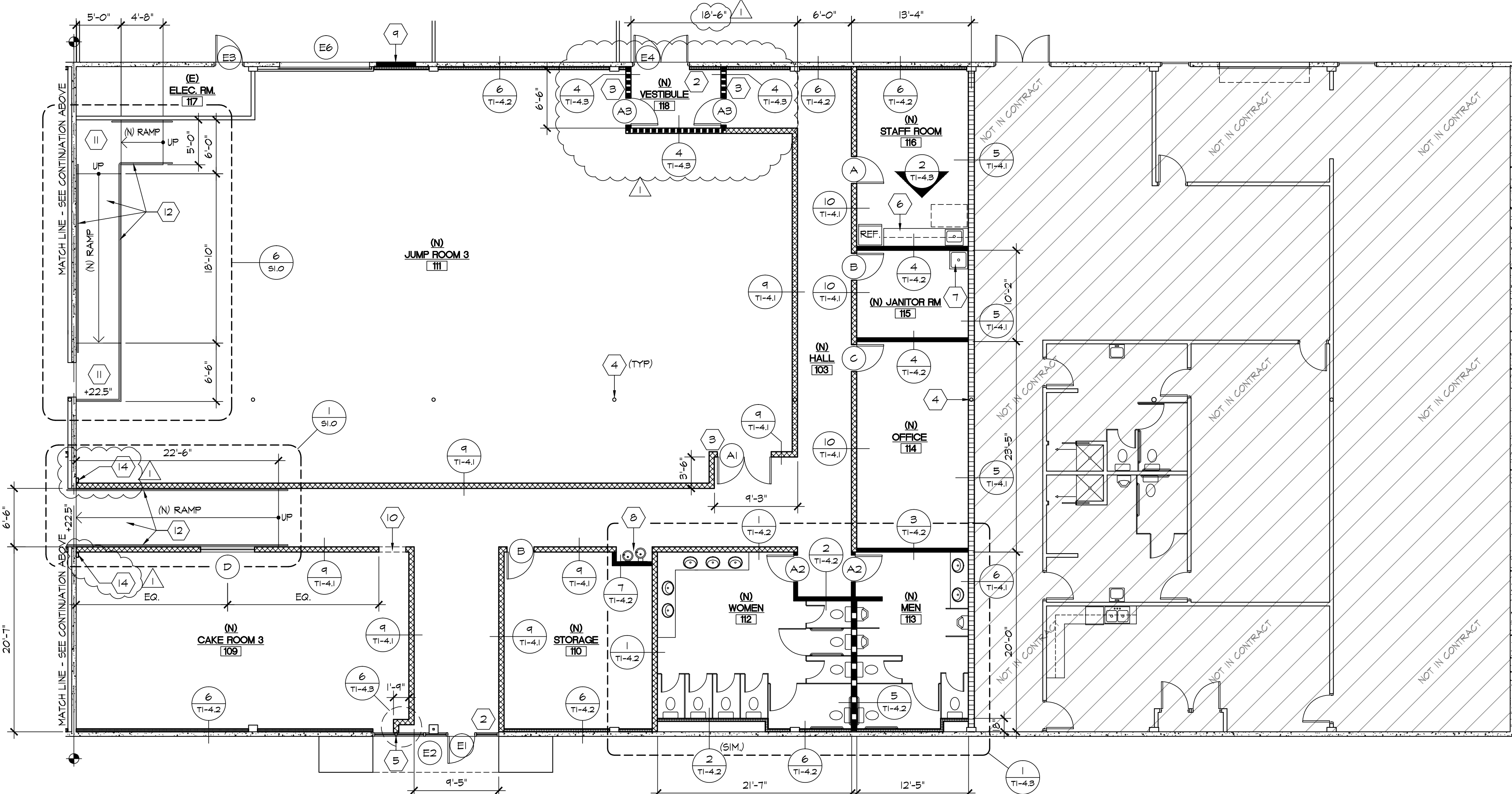
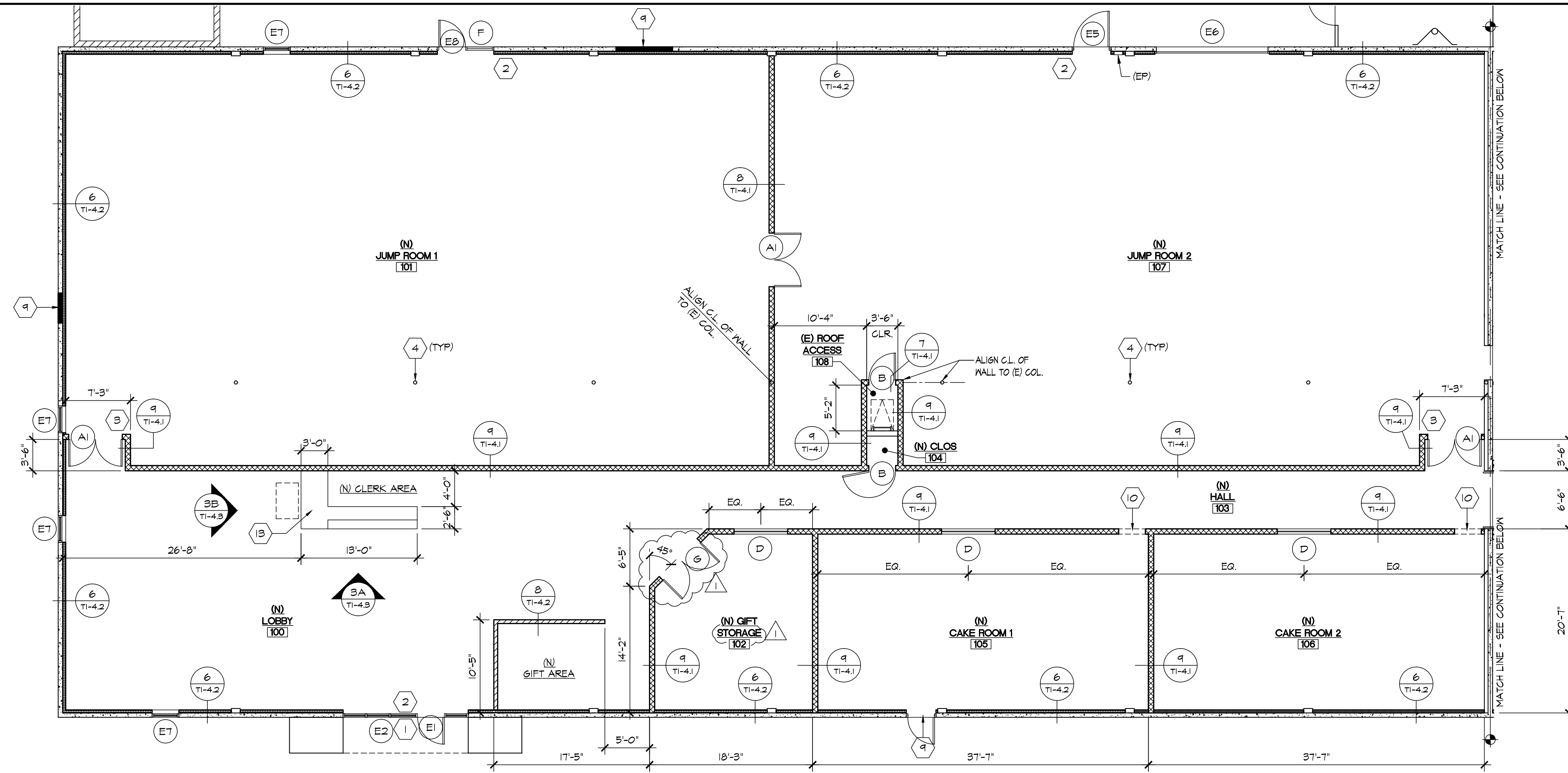
REQUIRED NUMBER OF EXITS: 2 --- PROVIDED: 5



REVISIONS  
 1 P.C. REV. 9/29/16  
 CUP CASE #:  
 DRC2016-00288

**BONALDO DESIGN GROUP**  
 TENANT IMPROVEMENT PLANS  
 10700 JERSEY BOULEVARD, SUITE 700  
 RANCHO CUCAGONA, CALIFORNIA 91750  
 (914) 444-4852  
 www.bonaldodesigngroup.com

PROJECT: **JUMPING JACKS TENANT IMPROVEMENTS**  
 1745 CARTILLA AVE. RANCHO CUCAGONA, CA  
 SHEET TITLE: **EMERGENCY EGRESS PLAN**  
 DATE: JULY 12, 2016  
 SCALE: AS NOTED  
 DRAWN BY: NATAL SL.  
 JOB NO.: TI-2-1147  
 SHEET No.: **TI-2.3**



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- EXISTING EXTERIOR CONG. WALL TO REMAIN
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  - NEW FULL HEIGHT STL. STUD PARTITION WALL. SEE SHEET TI-4.1 & TI-4.2
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  - NEW FULL HEIGHT STL. STUD DEMISING WALL. SEE SHEET TI-4.1
  - NEW LOW WALL STL. STUD WALL @ 48" A.F.F. SEE SHEET TI-4.2
  - NEW STL. STUD PLUMBING WALL. SEE SHEET TI-4.2
  - NEW 1-HR. FIRE RATED WALL. SEE DETAIL 4/TI-4.3
  - (E) EXISTING TO REMAIN
  - (R) EXISTING TO BE REMOVED
  - (EP) EXISTING ELECTRICAL PANEL
  - ⊕ F.E. PROVIDE (1) 2A10BC FIRE EXTINGUISHER FOR EACH 3000 SQ. FT. OF FLOOR AREA AT A MAX. OF 15' TRAVEL DISTANCE PER UFC SEC. 1002

- ### KEY NOTES
- 1 NEW SIGN OF INTERNATIONAL ACCESSIBILITY SYMBOL REQUIRED AT ENTRANCE
  - 2 NEW TACTILE EXIT SIGN STATING 'EXIT' @ 48"-60" A.F.F. REQUIRED AT ALL ACCESSIBLE EXITS CBC 11B-108. SEE DETAIL 11/TI-5.1
  - 3 TACTILE EXIT SIGN @ 48"-60" A.F.F. STATING 'EXIT ROUTE' REQUIRED AT ALL EXITS TO CORRIDOR. CBC 11B.5.1
  - 4 EXISTING STEEL COLUMN, TYP.
  - 5 PROVIDE BREAK METAL CLOSURE TO MATCH (E) AT END OF WALL TO GLASS
  - 6 NEW UPPER & LOWER CABINETS W/ SINK. PROVIDE 30"x48" CLR. FLOOR SPACE FOR ACCESSIBLE SIDE APPROACH TO SINK. SEE ELEVATION DETAIL 2/TI-4.3
  - 7 NEW MOP SINK
  - 8 NEW HI-LO ACCESSIBLE DRINKING FOUNTAIN
  - 9 NEW WOOD STUD WALL INFILL
  - 10 NEW 3'x7' WALL OPENING
  - 11 NEW LEVEL LANDING W/ 2% MAX. SLOPE IN ANY DIRECTION.
  - 12 NEW ACCESSIBLE RAMP W/ 8.33% MAX. SLOPE & 2% MAX. CROSS SLOPE. PROVIDE 1/2" Ø HANDRAILS @ 34"-38" A.F.F. ON BOTH SIDES W/ 12" EXTENSIONS AT TOP & BOTTOM OF LANDINGS. PROVIDE 1 1/2" Ø GUIDERAIL @ 3" A.F.F. PROVIDE 1 1/2" Ø POSTS @ 4" O.C. MAX. SEE DETAILS ON SHEET S-1 & HANDRAIL EXTENSION ON DETAIL 4/TI-4.1
  - 13 NEW RECEPTION COUNTER W/ 34" HT. A.F.F. COUNTER SPACE & 30"x48" CLEAR FLOOR SPACE FOR ACCESSIBLE SIDE APPROACH. PLASTIC LAMINATE FINISH (T.B.D.) SEE ELEVATION DETAIL 3/TI-4.3
  - 14 NEW STEEL 'H' FRAME FOR NEW TILT-UP WALL OPENING. SEE SHEET S-3

- ### DOOR / WINDOW SCHEDULE
- ALL DOORS TO BE 3'-0" x 7'-0" WITH BOTTOM 10 INCHES OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING, SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE. CBC 11B-404.2.10
- (A) NEW 3'x7' INTERIOR DOOR W/ TIMELY FRAME, LEVER HANDLE, & LATCH SET. FINISHES T.B.D.
  - (A1) NEW PAIR 3'x7' INTERIOR DOORS W/ TIMELY FRAME, PUSH PLATE & PULL BARS (NO LATCH). FINISHES T.B.D.
  - (A2) NEW 3'x7' INTERIOR DOOR W/ CLOSER DEVICE, TIMELY FRAME, LEVER HANDLE, LATCH SET & KICK PLATE ON PUSH SIDE. FINISHES T.B.D.
  - (A3) NEW 3'x7' 20-MIN. FIRE RATED INTERIOR DOOR W/ HOLLOW METAL FRAME, SMOKE SEALS, CLOSER DEVICE & PANIC HARDWARE. FINISHES T.B.D.
  - (B) NEW 3'x7' INTERIOR DOOR W/ TIMELY FRAME, LEVER HANDLE, & LOCK SET. FINISHES T.B.D.
  - (C) NEW 3'x7' INTERIOR DOOR W/ TIMELY FRAME, LEVER HANDLE, & PRIVACY LOCK. FINISH T.B.D.
  - (D) NEW 6'x4' INTERIOR WINDOW W/ TIMELY FRAME & 1/4" THK. CLEAR GLASS
  - (E1) EXISTING 3'x7' STOREFRONT DOOR W/ NEW PANIC HARDWARE & CLOSER DEVICE
  - (E2) EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN
  - (E3) EXISTING 3'x7' EXTERIOR MTL. DOOR W/ LEVER HANDLE & LOCKSET TO REMAIN
  - (E4) EXISTING PAIR 3'x7' EXTERIOR MTL. DOOR W/ NEW PANIC HARDWARE & CLOSER DEVICES
  - (E5) EXISTING 4'x7' EXTERIOR MTL. DOOR W/ NEW PANIC HARDWARE & CLOSER DEVICE
  - (E6) EXISTING ROLL-UP DOOR TO REMAIN
  - (E7) EXISTING EXTERIOR STOREFRONT WINDOW TO REMAIN
  - (E8) NEW 3'x7' STOREFRONT DOOR W/ PANIC HARDWARE & CLOSER DEVICE. MODIFY EXISTING STOREFRONT TO ACCOMMODATE NEW SIDELITE PER 'F' BELOW
  - (F) NEW 3'x7' EXTERIOR STOREFRONT WINDOW TO REPLACE (E) STOREFRONT DOOR. FRAME & GLASS TO MATCH EXISTING
  - (G) NEW 3'x7' FR. INTERIOR DOORS W/ TIMELY FRAME, LEVER HANDLES & LATCHSET. FINISHES T.B.D.

- ### NOTES
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PROPOSED FLOOR PLAN

SCALE  
1/8" = 1'-0"

2 NOTES / LEGEND

SCALE  
N.T.S.

1



REVISIONS  
1 P.C. REV. 9/29/16

CJP CASE #:  
DRC2016-00288

**BONALDO DESIGN GROUP**  
TENANT IMPROVEMENT PLANS  
10700 JERSEY BOULEVARD, SUITE 700  
RANCHO CUCAGONA, CALIFORNIA 91750  
(914) 444-4852  
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PROJECT: **JUMPING JACKS**  
TENANT IMPROVEMENTS  
1745 CARTILLA AVE.  
RANCHO CUCAGONA, CA  
SHEET TITLE: **PROPOSED FLOOR PLAN**

DATE: JULY 12, 2016  
SCALE: AS NOTED  
DRAWN BY: NATAL S.  
JOB NO.: TI-2-TI-17  
SHEET No.: **TI-2.2**