

THE STERLING BUILDING



CUSHMAN &
WAKEFIELD

CRESCO
Real Estate

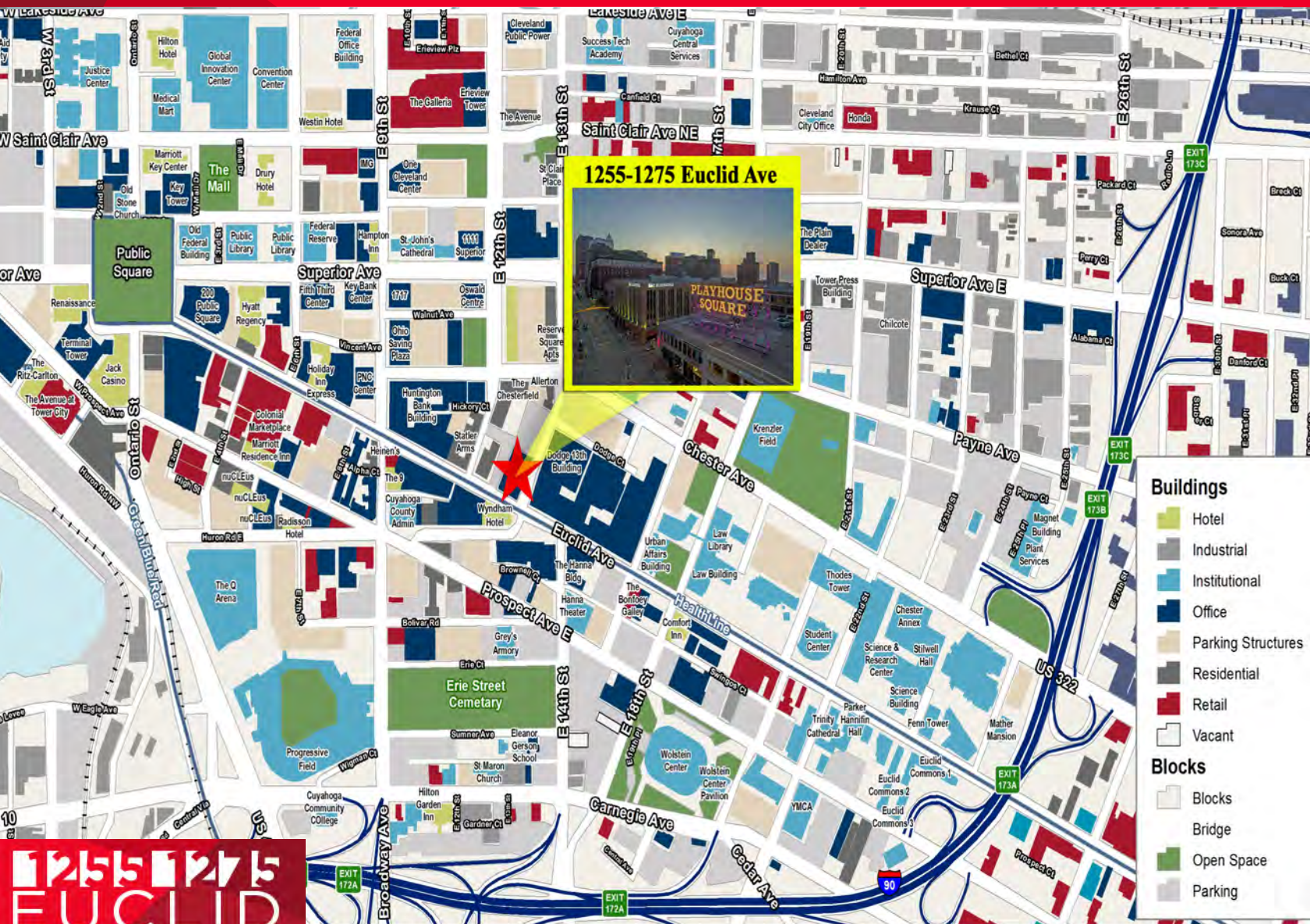




**CUSHMAN &
WAKEFIELD**

CRESCO
Real Estate

Available





TOTAL SF	193,455 SF
TOTAL AVAILABLE	97,006 SF
AVAILABILITY BY FLOOR	<ul style="list-style-type: none">▪ 1st Floor: 6,208 SF - 26,029 SF▪ 2nd Floor: 4,635 SF & 8,190 SF▪ 3rd Floor: 18,999 SF▪ 4th Floor: 39,153 SF
SECURITY	<ul style="list-style-type: none">▪ On-site 24/7/365▪ 4 exterior cameras▪ 9 interior cameras
ELECTRICAL	Dual 11,000 KVA electrical feeds from separate suppliers
HVAC	Heavy duty HVAC systems
FIBER	15+ fiber carriers
PARKING	<ul style="list-style-type: none">▪ 55 covered spaces▪ 110 underground parking spaces▪ Additional spaces available at Union Club and Playhouse Square
ASKING LEASE RATE	\$ 17.95/SF FSG
FEATURES	<ul style="list-style-type: none">▪ Located at the entrance of Playhouse Square on the corner of E.13th & Euclid Avenue▪ Walkers paradise and excellent transit access



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WAKEFIELD**



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PROPERTY DESCRIPTION

- Excellent office and retail opportunity
- Up to 58,152 SF available on contiguous floors
- Available single floor 2,700 SF - 39,153 SF
- Walk to entertainment/theatre venues, retail, dining and hotels
- Easy access to major highways and public transportation including the RTA Healthline and free trolley service
- Close to Cleveland State University and the growing residential area on East 9th featuring The 9 and Heinen's Grocery Store
- Two (2) dock doors available
- One (1) 6,000 lb. capacity freight elevator on-site





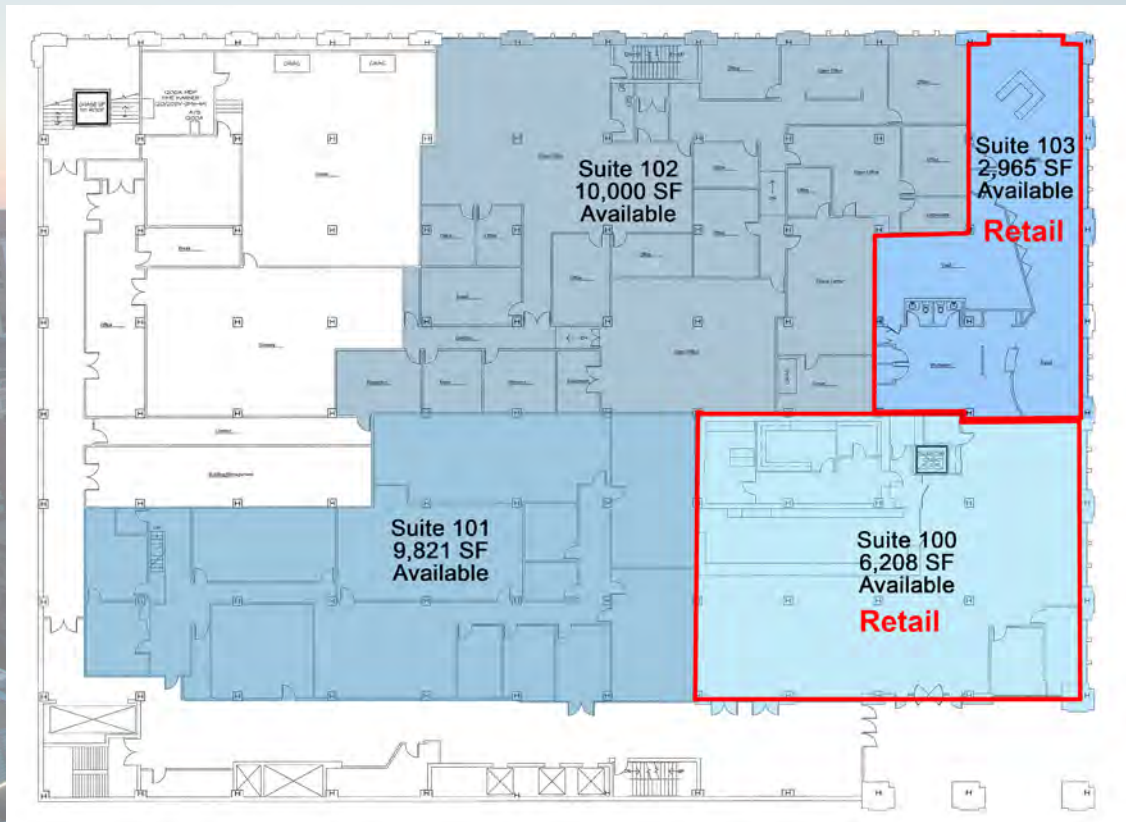
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FIRST FLOOR

Suite 100 - 6,208 SF; Suite 101 - 9,821 SF; Suite 102 - 10,000 SF; Suite 103 - 2,965 SF





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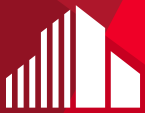


Available

SECOND FLOOR

Suite 205 - 8,190 SF; Suite 210A - 4,635 SF





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THIRD FLOOR

Suite 301 - 18,999 SF





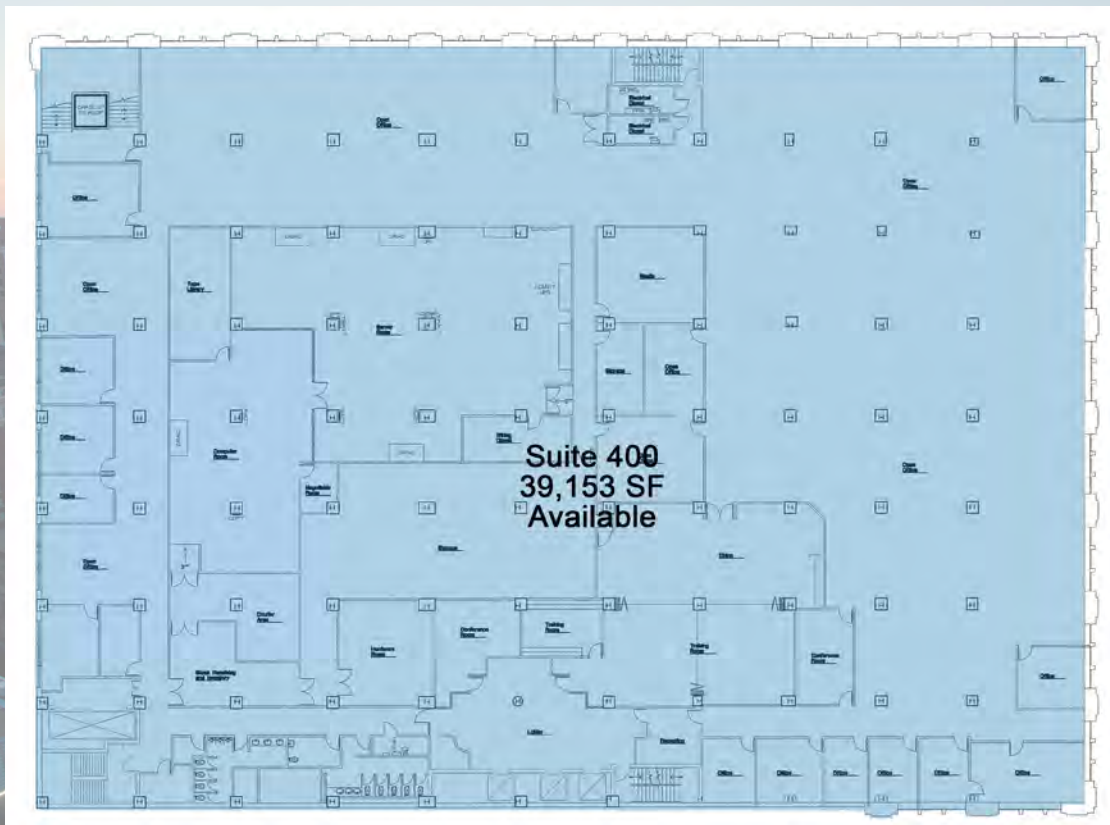
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Available

FOURTH FLOOR

Suite 400 - 39,153 SF





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**FOR MORE INFORMATION OR SCHEDULE A TOUR
PLEASE CONTACT:**

Cushman & Wakefield | CRESCO Real Estate

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THE STERLING BUILDING

Located in the heart of the Playhouse Square District in downtown Cleveland. With dual feed power, a generator farm, 24 / 7 / 365 security and access to over 15+ fiber carriers, the Sterling Building is uniquely qualified for any company that is looking to locate their technology or data center company in Cleveland.

Come find out why BlueBridge Networks, LLC, 365 Data Centers and others have chosen the Sterling Building for their Cleveland location.

