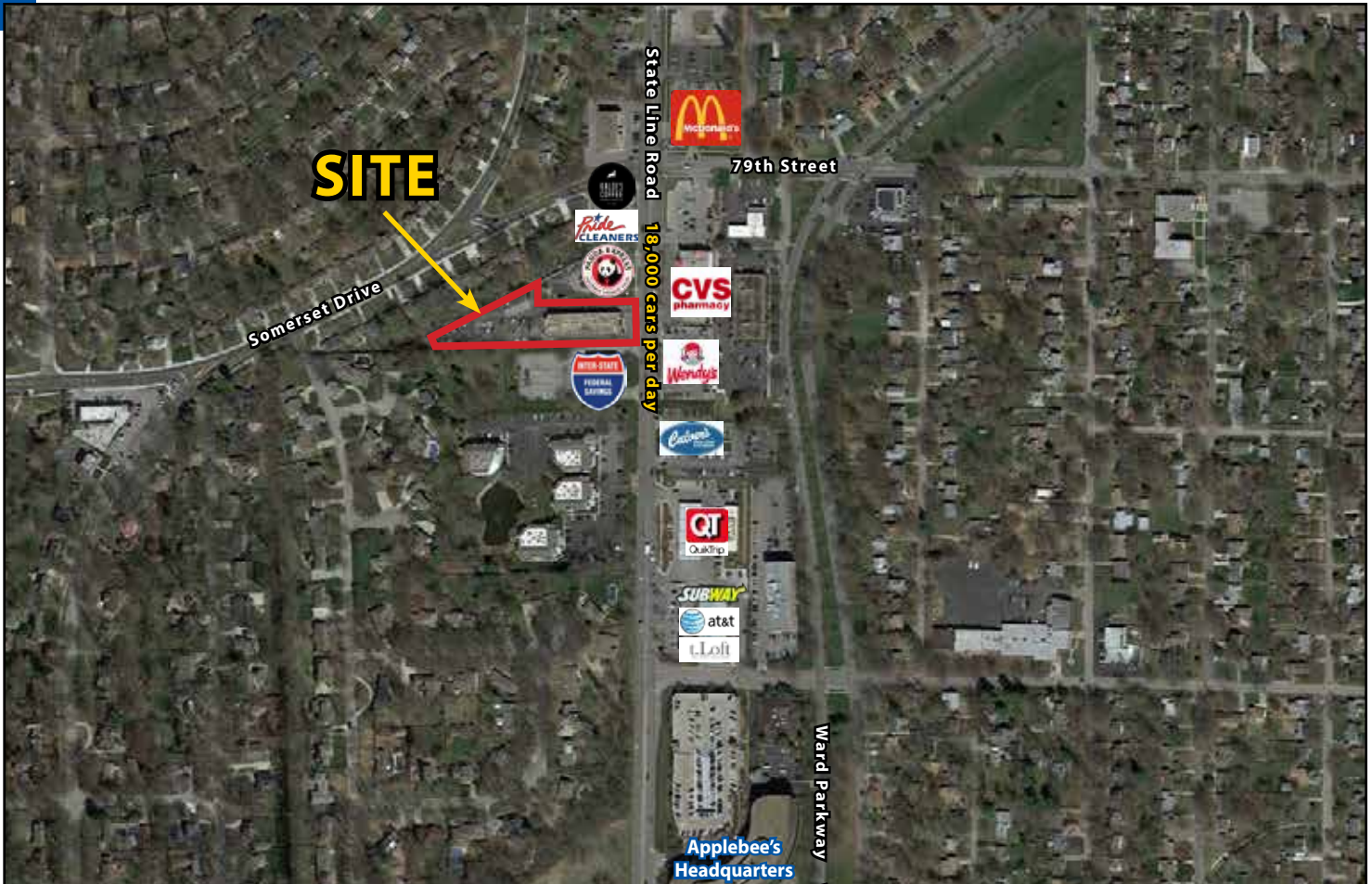


PRIME REDEVELOPMENT OPPORTUNITY

Zoned & Approved For Restaurant with Drive-Thru



1.37 Acre Site with Existing 11,962 Sq Ft Building 7930 State Line Road, Prairie Village, Kansas



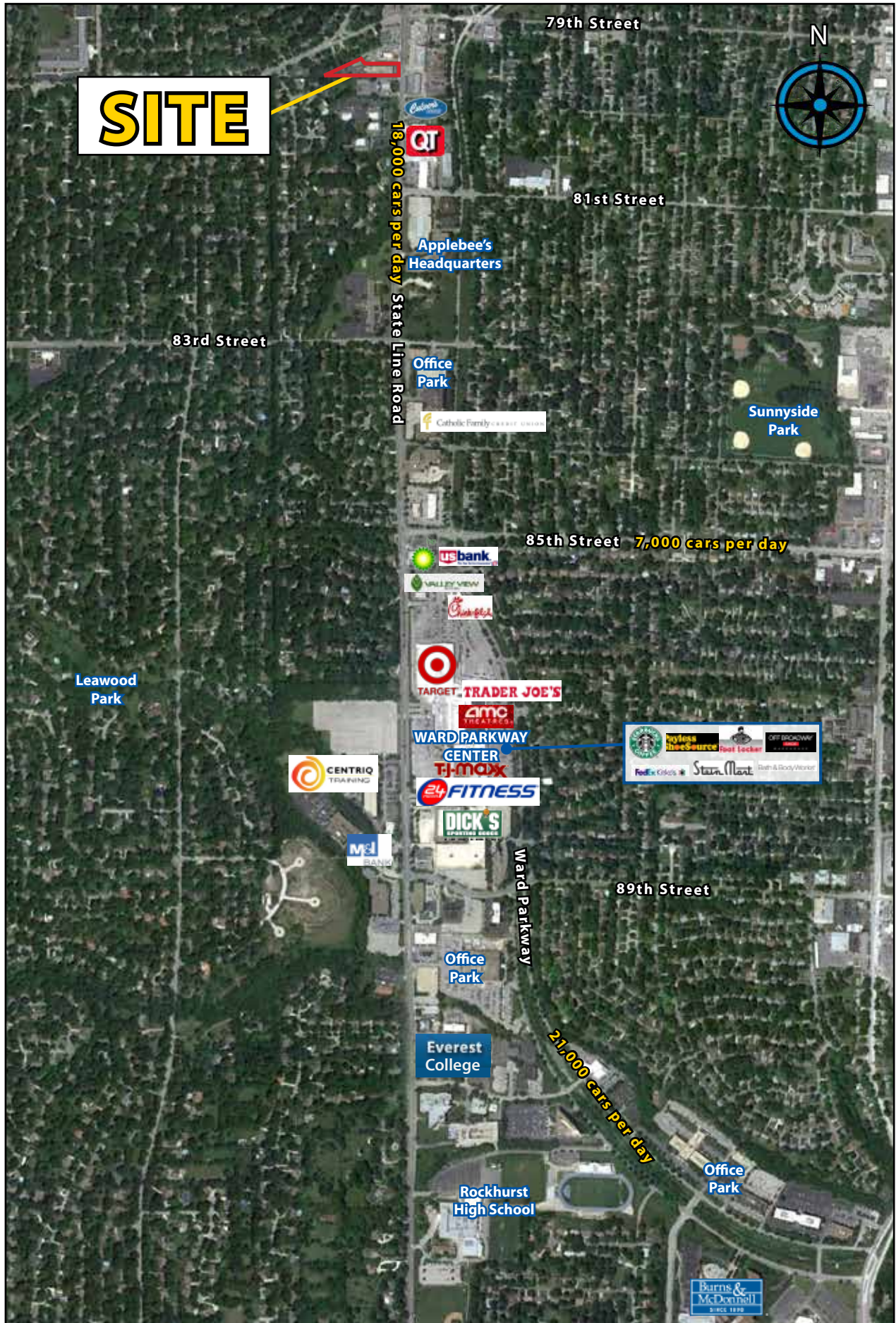
Estimated Population
245,621

Average Household Income
\$82,750

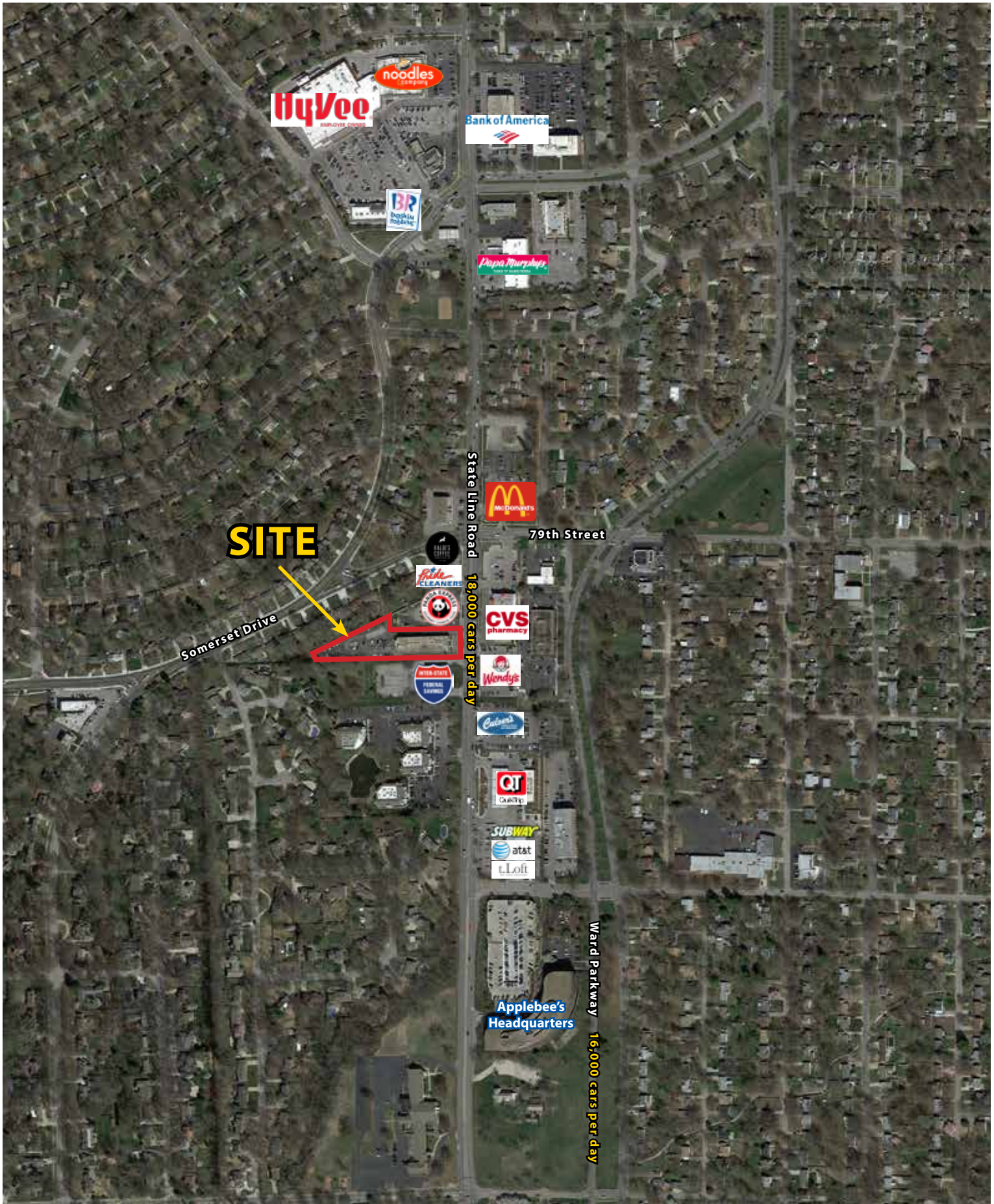
Five Mile Radius

- Build-to-suit or ground lease only
- Will consider converting the existing building for single tenant
- Prime State Line location at 79th Street
- Join Panda Express, Culver's, McDonald's, Wendy's, CVS, Kaldi's Coffee and many more nearby businesses
- Zoned and approved for fast casual restaurant with drive-thru totalling 3,984 sq ft max

7930 State Line Road, Prairie Village, Kansas



7930 State Line Road, Prairie Village, Kansas



SITE

Somerset Drive

State Line Road 18,000 cars per day

79th Street

Ward Parkway 16,000 cars per day

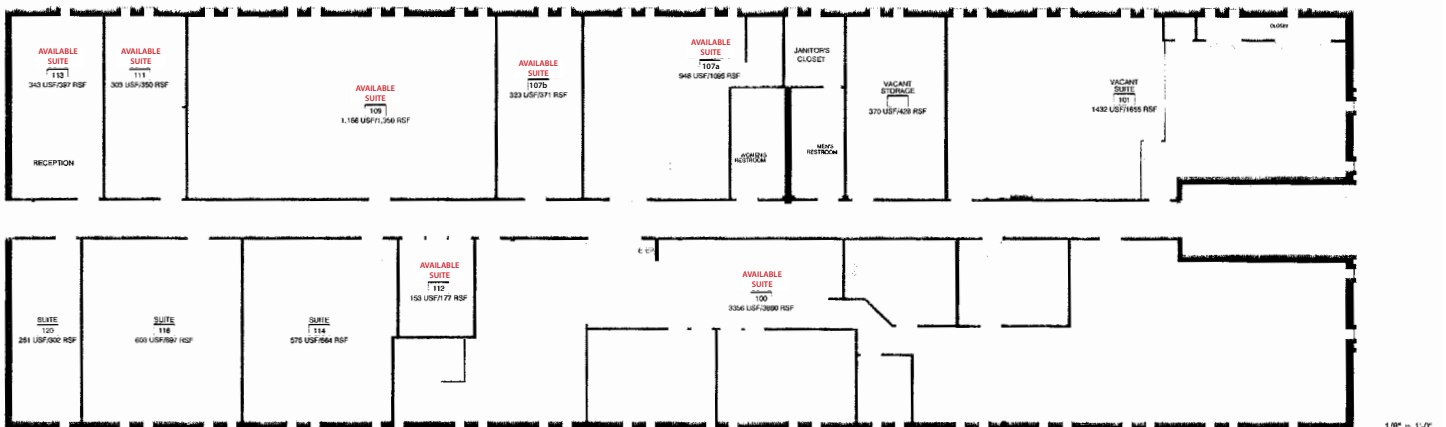
Applebee's Headquarters



7930 State Line Road, Prairie Village, Kansas

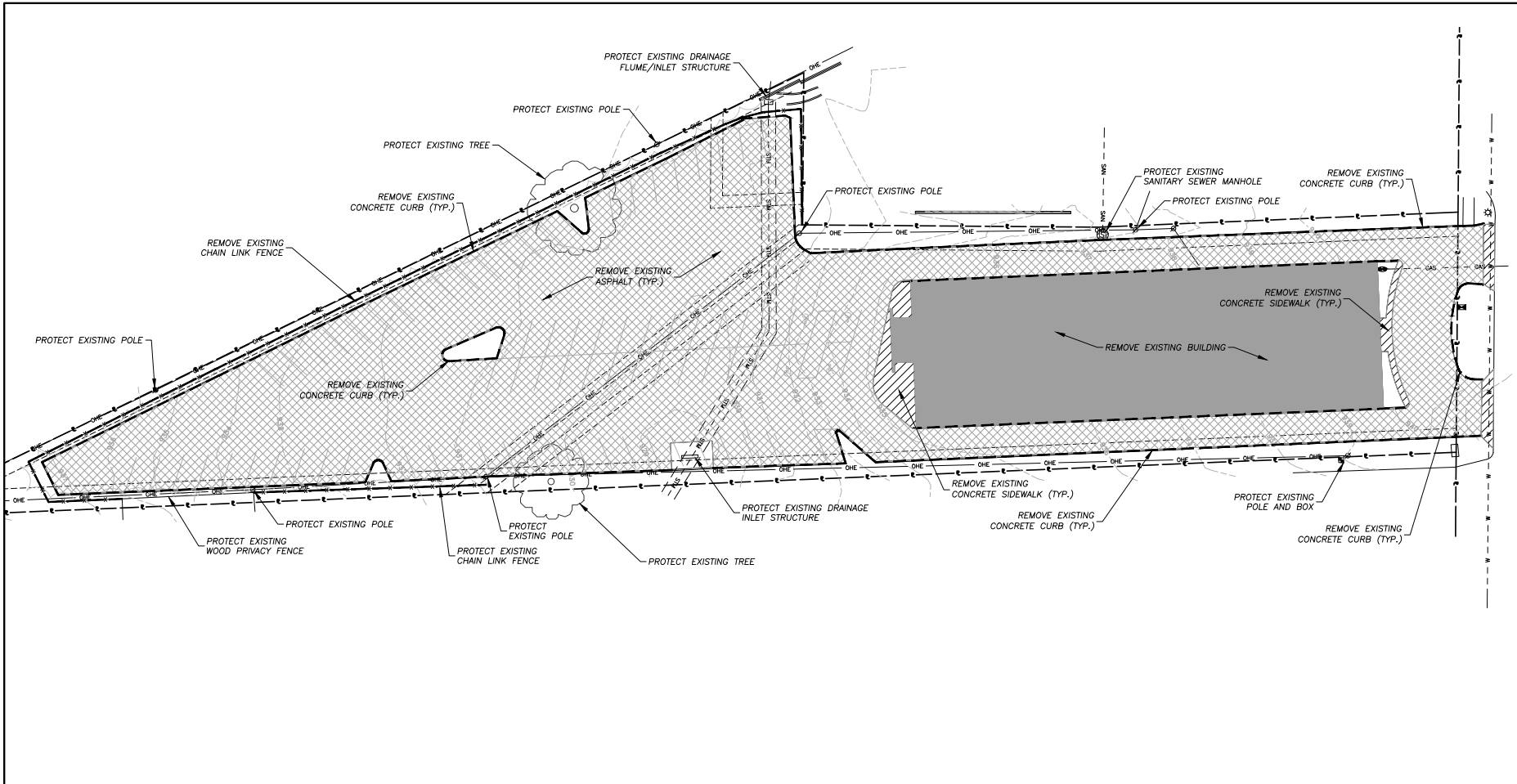


MASTER SECOND FLOOR PLAN



MASTER FIRST FLOOR PLAN

7930 State Line Road, Prairie Village, Kansas Demolition Plan

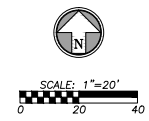


GENERAL NOTES

1. ALL MATERIALS SHALL BE REMOVED AND NOT DISPOSED OF ON-SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE LAWS AND REGULATIONS PERTAINING TO THE DISPOSAL OF CONSTRUCTION/DEMOLITION MATERIAL.
2. ALL PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION/CONSTRUCTION ACTIVITY.
3. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY.
4. EXISTING STORM & STRUCTURES SHALL BE PROTECTED FROM ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.

DEMOLITION LEGEND

- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE PAVEMENT
- REMOVE BUILDING
- REMOVE CONCRETE CURB
- REMOVE CHAIN LINK FENCE



Rev.	Date	Description	By	App.

BLOCK & COMPANY, INC.
AN EQUAL OPPORTUNITY FIRM
 605 W. STATE STREET
 SUITE 200
 KANSAS CITY, MO 64112
 P: (816) 753-6000
 F: (816) 753-6000
Member of Block & Company, Inc. Group

Prepared For:
BLOCK AND COMPANY, INC.
 605 W. STATE STREET
 SUITE 200
 KANSAS CITY, MO 64112
 P: (816) 753-6000

**7930 STATE LINE ROAD
 FINAL DEVELOPMENT PLANS
 PRAIRIE VILLAGE, KANSAS
 DEMOLITION PLAN**

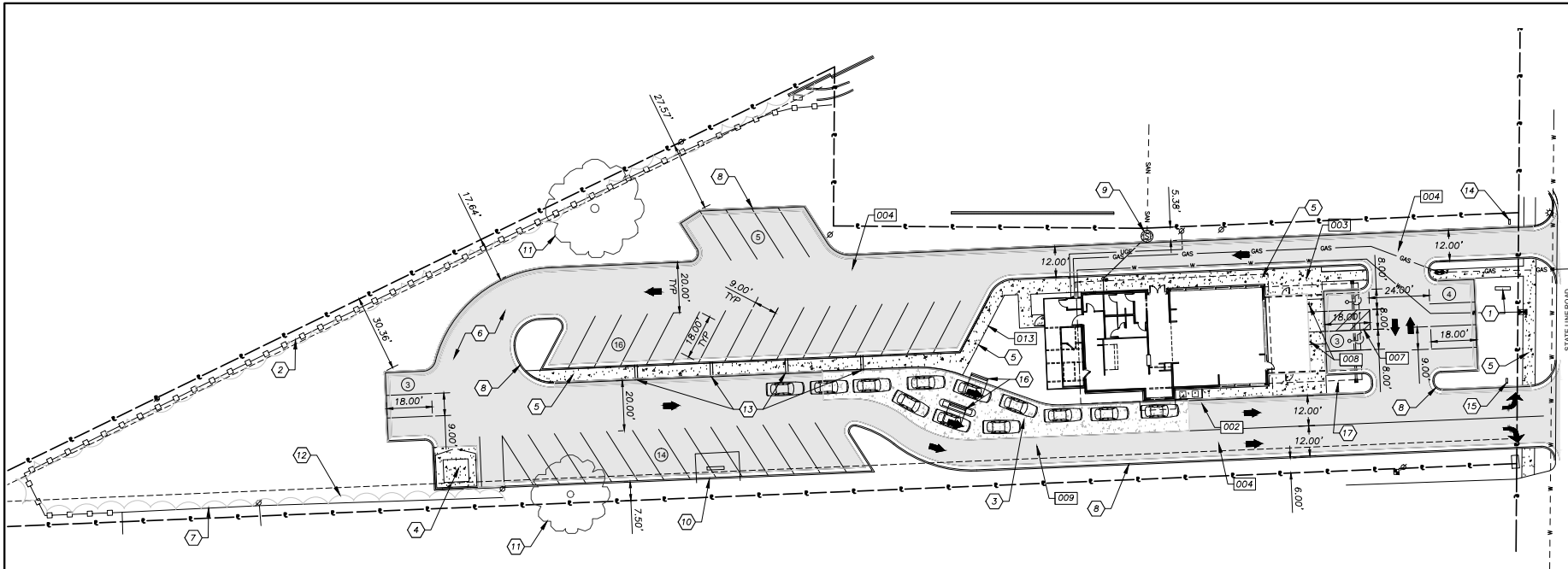
Design: JWB | Drawn: JWB
 Checked: RAE
 Issue Date: 06/19/2015
 Project Number: 021220

1 of 10
D1

Sep 25, 2015 12:25pm Plotted By: jwb | 1225pm V:\021220\DWG\7930 State Line\021220-DEM-01.dwg Layout: 1.dwg



7930 State Line Road, Prairie Village, Kansas Site Plan



CONSTRUCTION NOTES

- 01 MONUMENT SIGN. REFER TO ARCHITECTURAL
- 02 8" TALL WOOD PRIVACY FENCE
- 03 CONCRETE PAVEMENT
- 04 DUMPSTER ENCLOSURE
- 05 CONCRETE SIDEWALK
- 06 ASPHALT PAVEMENT
- 07 PROTECT EXISTING WOOD PRIVACY FENCE
- 08 CONCRETE CURB AND GUTTER
- 09 PROTECT EXISTING SEWER MANHOLE
- 10 PROTECT EXISTING STORM DRAIN
- 11 PROTECT EXISTING TREE
- 12 PROTECT EXISTING TREE LINE
- 13 TRENCH DRAIN WITH GRATE
- 14 ENTRANCE DIRECTIONAL SIGN
- 15 EXIT DIRECTIONAL SIGN
- 16 MENU BOARD
- 17 ROOF CANOPY

DETAILS

- SEE CONSTRUCTION DETAILS - SHEETS C5.0-6.0
- 002 TYPE "B" CONCRETE CURB & GUTTER
 - 002 TYPE "B" DRY CONCRETE CURB & GUTTER
 - 004 ASPHALT PAVEMENT
 - 009 CONCRETE PAVEMENT
 - 013 CONCRETE SIDEWALK SECTION
 - 017 SIDEWALK RAMP
 - 018 (ADA) HANDICAP PARKING STRIPING
 - 019 (ADA) HANDICAP PARKING SIGNAGE

PROJECT ADDRESS

7930 STATE LINE ROAD
PRAIRIE VILLAGE, KS 66208

SITE DATA

SITE AREA: 1.37 ACRES/59,663 SQ FT
IMPERVIOUS AREA: EXISTING: 50,027 SQ FT (83.8%)
PROPOSED: 36,404 SQ FT (61.0%)

BUILDING

EXISTING BUILDING: 11,962 SF
PROPOSED BUILDING: 2,897 SF BUILDING
+ 539 SF SERVICE
+ 548 SF PATIO
= 3,984 SF TOTAL

PARKING STALLS

TOTAL PARKING STALLS: 45 STALLS*
*REDUCTION PER CITY COUNCIL REZONING CONDITION

REQUIRED PARKING:

94 INDOOR SEATS/2.5 = 37.6 STALLS
28 OUTDOOR SEATS/2.5 = 11.2 STALLS
= 48.8 STALLS

REQUIRED HANDICAPPED STALLS:

2 (1 VAN)
(26-50 STALLS REQUIRES 2 HC STALLS PER ADA)

HANDICAP STALLS PROVIDED:

2 (2 VAN)

LEGAL DESCRIPTION

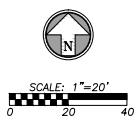
PART OF LOT 3, NEL-ARO, AND PART OF LOT 14, BLOCK 8, MEADOW LAKE, BOTH BEING SUBDIVISIONS IN THE CITY OF PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID LOT 3 WITH THE WEST LINE OF STATE LINE ROAD, AS NOW ESTABLISHED; THENCE NORTH 2° 50' EAST, ALONG THE WEST LINE OF STATE LINE ROAD, A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF LOT 15, IN SAID BLOCK 8; THENCE WEST, ALONG THE SOUTH LINE OF SAID LOT 15, A DISTANCE OF 150.00 FEET, TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 87° 10' WEST, ALONG A LINE WHICH MAKES A SOUTHWEST ANGLE OF 90 DEGREES WITH THE EASTERLY LINE OF SAID LOT 14, A DISTANCE OF 123.00 FEET; THENCE NORTH 2° 50' EAST, A DISTANCE OF 63.37 FEET, TO A POINT ON THE NORTHWESTERN LINE OF SAID LOT 14, THENCE SOUTH 66° 21' 16" WEST, ALONG THE NORTHWESTERLY LINE OF SAID LOT 14, A DISTANCE OF 421.97 FEET, TO THE SOUTHWEST CORNER THEREOF; THENCE EAST, ALONG THE SOUTH LINE OF SAID LOTS 14, AND 3 A DISTANCE OF 651.33 TO THE POINT OF BEGINNING.

GENERAL NOTES

1. All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Prairie Village, Kansas.
2. All existing topographic, survey, and utility information shown was provided to BHC Rhodes in the form of a Topographic Survey prepared by Viking Surveys and dated October 3, 2014. BHC Rhodes makes no guaranties as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
3. The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
4. Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
5. The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
6. The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
7. The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owners's satisfaction at the Contractor's expense.
8. Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
9. All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
10. All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
11. Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
12. Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.

LEGEND

- (P) PARKING STALL COUNT
- [Pattern] MEDIUM DUTY PCCP PAVEMENT
- [Pattern] LIGHT DUTY ASPHALT PAVEMENT
- [Pattern] CONCRETE SIDEWALK
- [Pattern] CONCRETE CURB & GUTTER
- [Pattern] CONCRETE DRY CURB & GUTTER
- [Line] PROPERTY LINE
- [Symbol] 6" WOOD PRIVACY FENCE



Rev.	Date	Description	By	App.

BHC RHODES
ARCHITECTS
10000 W. 119th St., Suite 200
Overland Park, Kansas 66210
P: (913) 663-1900 F: (913) 663-1633
BHC RHODES IS A DIVISION OF BERKSTADT ADAMSON & ASSOCIATES, P.A.

Prepared For:
BLOCK & COMPANY, INC.
605 WEST 10TH STREET
SUITE 200
KANSAS CITY, MO 64112
P: (816) 753-6000

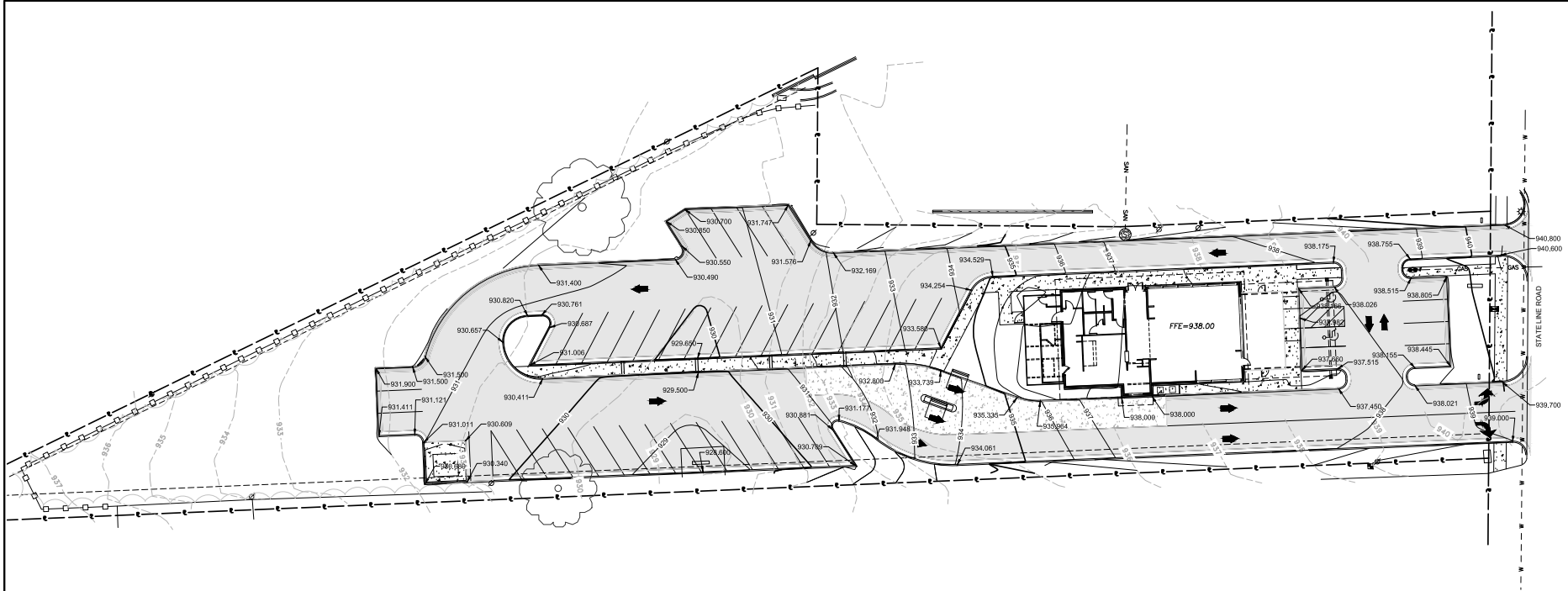
**7930 STATE LINE ROAD
FINAL DEVELOPMENT PLANS
PRAIRIE VILLAGE, KANSAS
SITE PLAN**

Design: JWB Drawn: JWB
Checked: RAH
Issue Date: 09/25/15
Project Number: 021220

2 of 10
C1

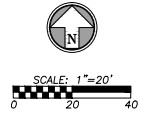
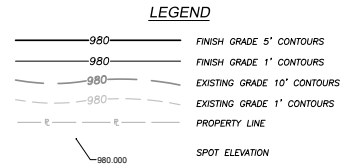


7930 State Line Road, Prairie Village, Kansas Grading Plan



GRADING NOTES

1. Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Kansas. Contractor shall employ a qualified person to conduct regular inspections of the site, erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
2. All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the On-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
3. All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
4. All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
5. All excavation and embankments shall comply with the recommendations provided by the Geotechnical Engineer.
6. Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the Engineer and the On-Site Geotechnical Representative. Areas that display rutting or pumping that are unsatisfactory to the Engineer shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime.
7. Finished grades shall not be steeper than 3:1.
8. All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
9. A 1/4" per foot maximum cross slope shall be maintained on all pedestrian sidewalks and paths.
10. Spot elevations are labeled to pavement surface unless otherwise noted.



Rev.	Date	Description	By	App.

B/C PHOTOS
Professional Photography & Videography
 10000 E. 119th St., Suite 100
 Overland Park, Kansas 66210
 P: (913) 663-1900 F: (913) 663-1633
Member of the International Franchise Association

Prepared For:
BLOCK AND COMPANY, INC.
 605 W. STATE STREET
 SUITE 200
 KANSAS CITY, MO 64112
 P: (816) 753-6000

**7930 STATE LINE ROAD
 FINAL DEVELOPMENT PLANS
 PRAIRIE VILLAGE, KANSAS
 GRADING PLAN**

Design: JWB Drawn: JWB
 Checked: RAE
 Issue Date: 09/25/15
 Project Number: 021220

3 of 10
C2



7930 State Line Road, Prairie Village, Kansas Utility Plan

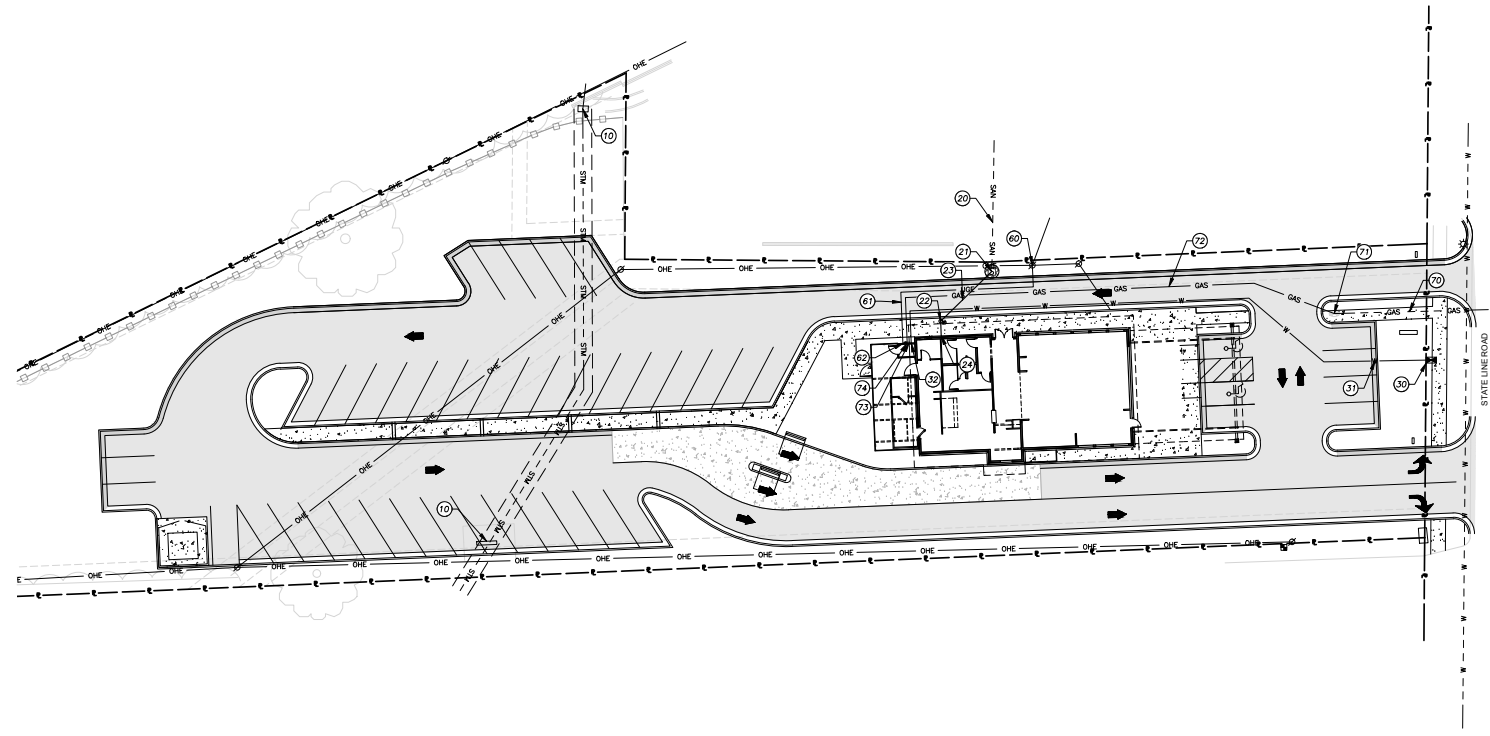


Know what's below.
Call before you dig.

UTILITIES

- DIRECTV**
Phone (866) 810-7892
- Johnson County Wastewater**
11811 Sunset Dr. Ste.2500
Olathe Kansas 66061
Phone (913) 715-8590
- Kansas City Power & Light**
Phone (816) 471-5257
- Kansas Gas Service**
P.O. Box 3535
Topeka, Kansas 66601-3535
Phone (800) 794-4780
- Time Warner Cable**
8221 W. 119th Street
Overland Park, Kansas
66213-1209
Phone (816) 358-8833
- WaterOne**
10747 Renner Blvd.
Lenexa, Kansas 66219
Phone (913) 895-1800

NOTE:
WATER MAIN & SERVICE LINES SHALL
BE INSTALLED AT 48" MINIMUM DEPTH
AND 60" MAXIMUM DEPTH UNLESS
OBSTRUCTIONS REQUIRE DEEPER
INSTALLATION FOR CLEARANCE



- NOTES**
- | | | | |
|----|---|----|--|
| 10 | EXISTING CURB INLET & PUBLIC STORM SEWER | 60 | CONNECT TO EXISTING POWER POLE |
| 20 | EXISTING 8" SANITARY SEWER MAIN | 61 | INSTALL 70 LF 6" PVC UNDERGROUND PRIMARY CONDUIT |
| 21 | CONNECT TO EXISTING SANITARY SEWER MANHOLE | | COORDINATE WITH UTILITY CO. |
| 22 | INSTALL 4" PVC CLEANOUT | 62 | INSTALL SECONDARY CONDUIT AND CONNECT TO BUILDING |
| 23 | INSTALL 30 LF 4" PVC SDR-35 SCH. 40 SANITARY SEWER SERVICE | | PER UTILITY CO. STANDARDS; REF ELECTRICAL PLAN. |
| 24 | CONNECT SANITARY SEWER SERVICE TO BUILDING. REFER TO PLUMBING PLAN. | 70 | EXISTING GAS MAIN |
| 30 | CONNECT TO EXISTING WATER METER BY UTILITY CO. | 71 | CONNECT TO EXISTING GAS METER; TAP BY UTILITY COMPANY |
| 31 | INSTALL 195 LF 2" TYPE K COPPER DOMESTIC WATER SERVICE | 72 | INSTALL 165 LF GAS SERVICE LINE; COORDINATE WITH UTILITY CO. |
| 32 | CONNECT DOMESTIC WATER SERVICE TO BLDG; REFER TO PLUMBING PLAN. | 73 | GAS METER, BY UTILITY COMPANY |
| | | 74 | CONNECT GAS SERVICE TO BUILDING; REF. PLUMBING PLAN |

LEGEND

- | | |
|---------|------------------------------|
| — OHE — | EXISTING OVERHEAD POWER LINE |
| — GAS — | EXISTING GAS LINE |
| — SAN — | EXISTING SANITARY SEWER |
| — STM — | EXISTING STORM SEWER |
| — W — | EXISTING WATER LINE |
| — SS — | PROPOSED SANITARY SEWER |
| — W — | PROPOSED STORM SEWER |
| — W — | PROPOSED WATER LINE |
| — GAS — | PROPOSED GAS LINE |



SCALE: 1"=20'
0 20 40

Rev.	Date	By	App.

BHC RHODES
Civil Engineering & Surveying - Utilities
Overland Park, Kansas 66210
P. (913) 665-1900 F. (913) 665-1633
BHC RHODES is a Division of Berglund-Hornbeck & Company, P.A.

Prepared For:
BLOCK AND COMPANY, INC.
605 W. STATE STREET
SUITE 200
KANSAS CITY, MO 64112
P. (816) 753-6000

**7930 STATE LINE ROAD
FINAL DEVELOPMENT PLANS
PRAIRIE VILLAGE, KANSAS
UTILITY PLAN**

Design: JWB Drawn: JWB
Checked: RAE
Issue Date: 08/25/15
Project Number: 021220

4 of 10
C3

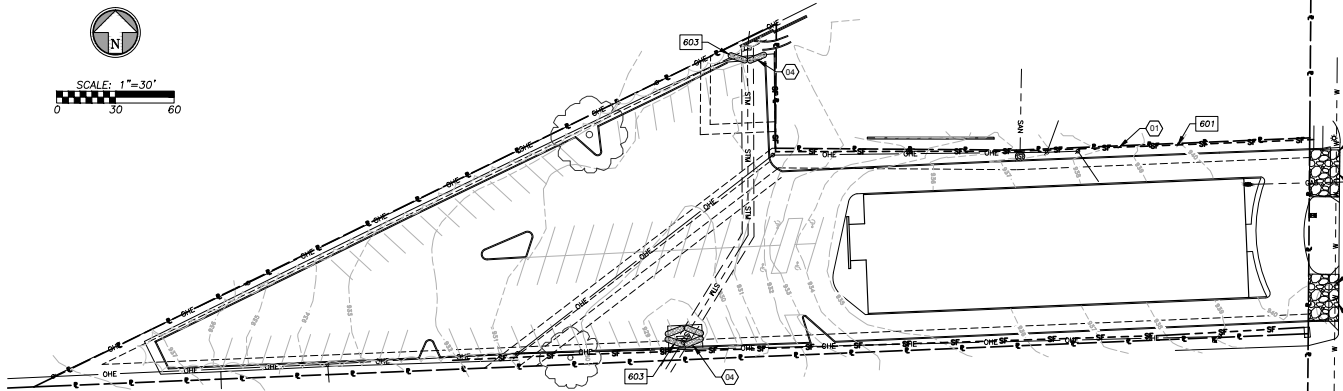


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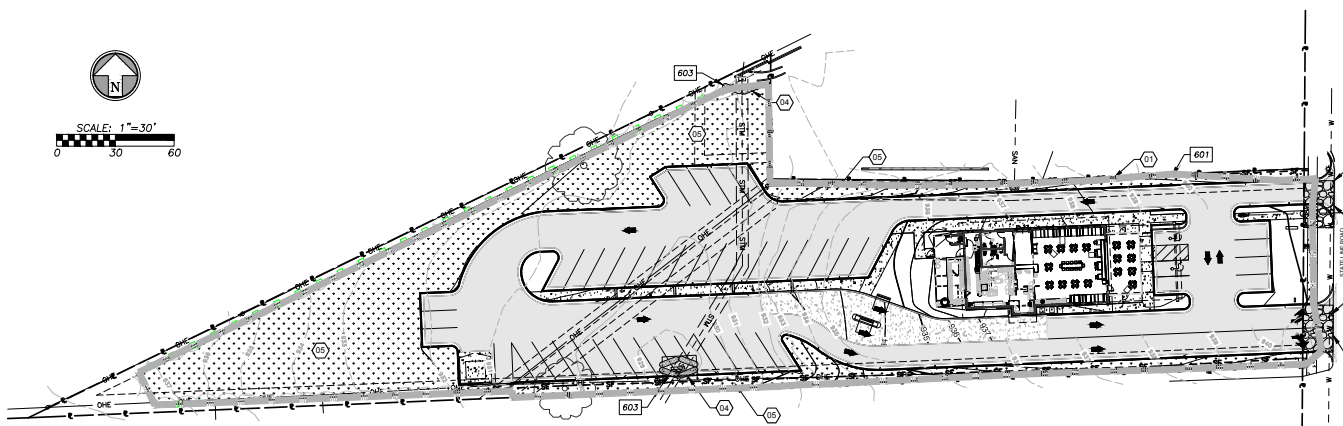
7930 State Line Road, Prairie Village, Kansas Erosion Control Plan

EROSION AND SEDIMENT CONTROL GENERAL NOTES

- (Updated 02/01/2010)
- Prior to Land Disturbance activities, the contractor shall:
 - Delineate the outer limits of any natural stream corridor designated with construction fencing.
 - Construct a stabilized entrance/parking/delivery area.
 - Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
 - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City inspector and in conformance with the erosion and sediment control plan.
 - The contractor shall comply with all requirements of the Kansas Water Pollution Control and NPDES Stormwater Runoff from Construction Sites General Permit, KC-APWA Specifications Section 2150, including but not limited to:
 - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
 - The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:
 - During active construction phases – at least once per week
 - During periods of inactivity – at least once per month
 - After each rainfall event of 1/2 inch or more – within 24 hours of the rain event.
 - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be available for review by the regulatory authority.
 - The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
 - Unless otherwise noted in the plans, all seeding must conform to Division II-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.
 - The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.
 - The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
 - Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
 - Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
 - Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
 - Interior Silt Fence shall be installed as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.
 - Private Erosion & Sediment Control inspections are provided in accordance with NPDES schedule and requirements. After inspections, prepare the City of Prairie Village with reports and documentation.



PRE CLEARING PLAN



POST CONSTRUCTION PLAN

DETAILS

- SEE EROSION CONTROL DETAIL SHEET FOR THE FOLLOWING
- 600 TEMPORARY CONSTRUCTION ENTRANCE
- 601 FILTER FABRIC SILT FENCE
- 603 ROCK BAG DROP INLET BARRIER
- 613 CONCRETE WASH-OUT

EROSION/SEDIMENT CONTROL STAGING CHART

Project Stage	BMP Ref No.	BMP Description	Remove after stage:	Notes:
A - Place BMP's Prior to Land Disturbance.	01	Perimeter Silt Fence	B	Place as shown on plan.
	02	Construction Entrance & Staging Area	B	Place as shown on plan.
	03	Concrete Wash-out	B	Place as shown on plan.
	04	Storm inlet Protection	B	Place as shown on plan.
B - Final Grading, Paving & Landscaping	05	Final Seeding, Sod and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 50% of site.

LEGEND

- 934 PROPOSED CONTOUR
- 934 EXISTING CONTOUR
- SEDIMENT FENCE
- DISTURBED AREA (1.3 AC)
- INLET FILTER BAGS
- CONSTRUCTION ENTRANCE
- FINAL SEEDING (SOD &/OR LANDSCAPING)

**7930 STATE LINE ROAD
FINAL DEVELOPMENT PLANS
PRAIRIE VILLAGE, KANSAS
EROSION CONTROL PLAN**

Rev.	Date	By	App.	Description

BLOCK & COMPANY, INC.
605 WEST WYOMING STREET, SUITE 200
KANSAS CITY, MO 64112
P: (816) 752-5000

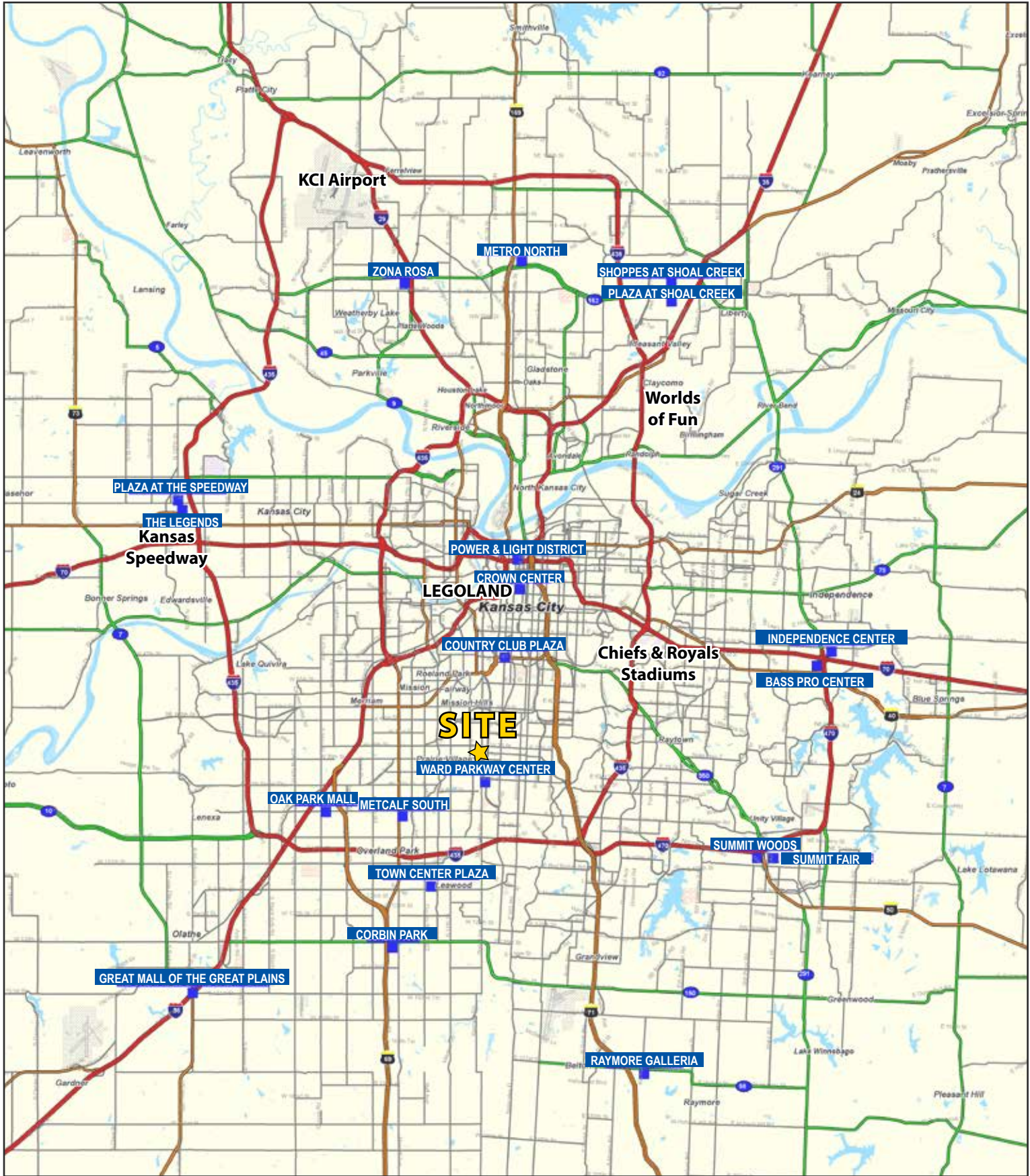
BLOCK & COMPANY, INC.
605 WEST WYOMING STREET, SUITE 200
KANSAS CITY, MO 64112
P: (816) 752-5000

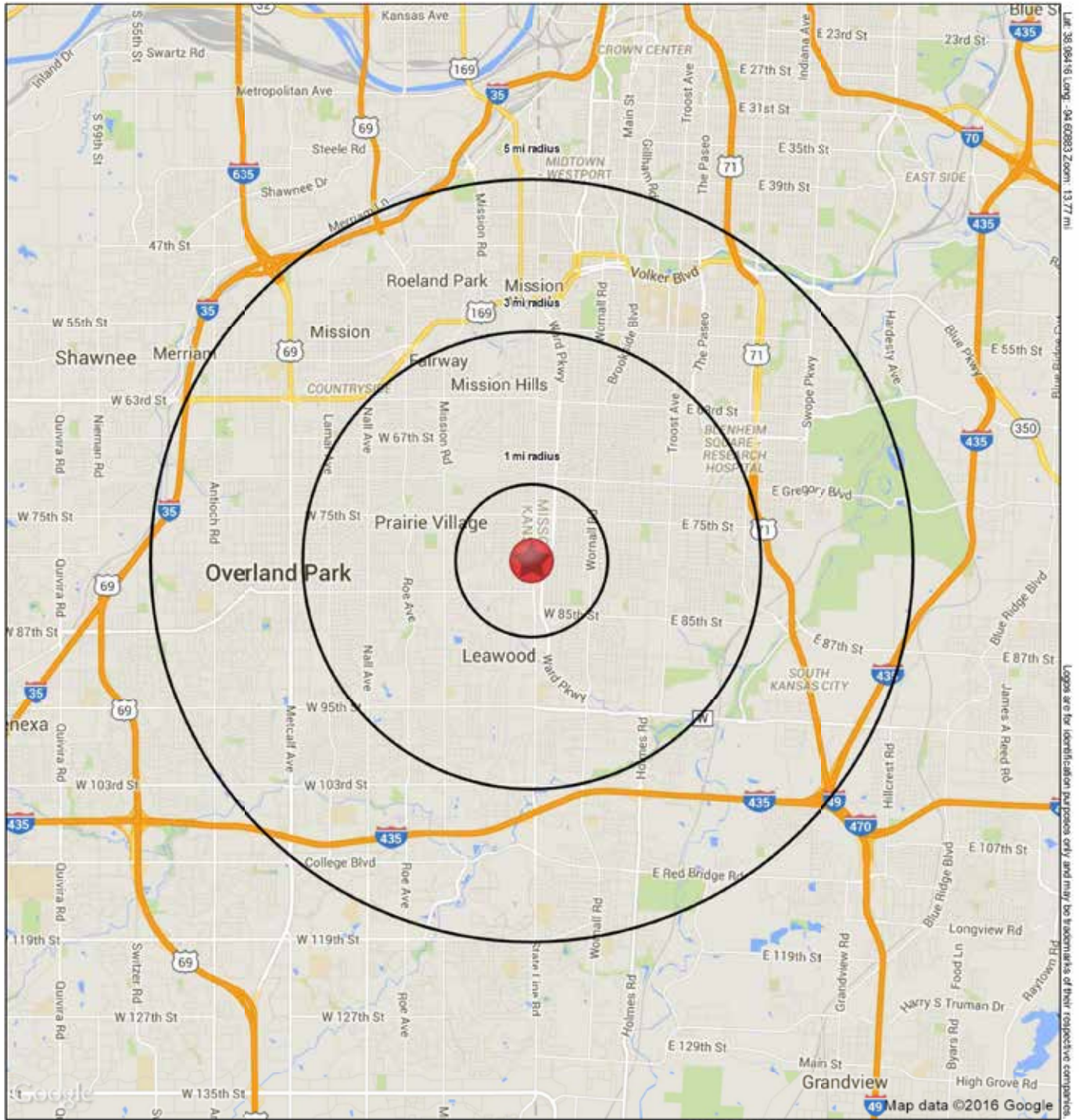
Design: **JWB** Drawn: **JWB**
Checked: **RAE**
Issue Date: 09/27/13
Project Number: 021220

5 of 10
C4



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7930 State Line Road
Prairie Village, KS 66208

February 2016

This map was produced using data from private and government sources deemed to be reliable. The information herein is provided without representation or warranty.

SUMMARY PROFILE

2000-2010 Census, 2015 Estimates with 2020 Projections

Calculated using Weighted Block Centroid from Block Groups

Lat/Lon: 38.9845/-94.6088

RS1

7930 State Line Road		1 mi radius	3 mi radius	5 mi radius
Prairie Village, KS 66208				
POPULATION	2015 Estimated Population	10,728	95,161	245,621
	2020 Projected Population	10,932	97,566	253,188
	2010 Census Population	10,718	94,237	237,569
	2000 Census Population	11,056	98,557	250,915
	Projected Annual Growth 2015 to 2020	0.4%	0.5%	0.6%
	Historical Annual Growth 2000 to 2015	-0.2%	-0.2%	-0.1%
	2015 Median Age	39	40.8	38.9
HOUSEHOLDS	2015 Estimated Households	5,290	43,473	114,584
	2020 Projected Households	5,530	45,731	121,236
	2010 Census Households	5,195	42,256	108,543
	2000 Census Households	5,274	43,621	112,917
	Projected Annual Growth 2015 to 2020	0.9%	1.0%	1.2%
	Historical Annual Growth 2000 to 2015	-	-	0.1%
RACE AND ETHNICITY	2015 Estimated White	90.8%	78.2%	71.7%
	2015 Estimated Black or African American	3.9%	16.3%	19.8%
	2015 Estimated Asian or Pacific Islander	1.9%	1.8%	2.7%
	2015 Estimated American Indian or Native Alaskan	0.3%	0.3%	0.4%
	2015 Estimated Other Races	3.1%	3.4%	5.4%
	2015 Estimated Hispanic	4.9%	4.1%	7.2%
INCOME	2015 Estimated Average Household Income	\$89,251	\$98,760	\$82,750
	2015 Estimated Median Household Income	\$77,385	\$80,569	\$66,181
	2015 Estimated Per Capita Income	\$44,124	\$45,159	\$38,688
EDUCATION (AGE 25+)	2015 Estimated Elementary (Grade Level 0 to 8)	1.1%	1.2%	1.9%
	2015 Estimated Some High School (Grade Level 9 to 11)	2.1%	3.0%	4.4%
	2015 Estimated High School Graduate	12.7%	15.4%	18.1%
	2015 Estimated Some College	19.5%	19.7%	20.9%
	2015 Estimated Associates Degree Only	5.9%	5.5%	6.2%
	2015 Estimated Bachelors Degree Only	33.1%	31.4%	28.7%
	2015 Estimated Graduate Degree	25.7%	23.8%	19.8%
BUSINESS	2015 Estimated Total Businesses	617	4,047	13,188
	2015 Estimated Total Employees	6,210	40,863	195,750
	2015 Estimated Employee Population per Business	10.1	10.1	14.8
	2015 Estimated Residential Population per Business	17.4	23.5	18.6

This report was produced using data from private and government sources deemed to be reliable. The information herein is provided without representation or warranty.