

FOR LEASE

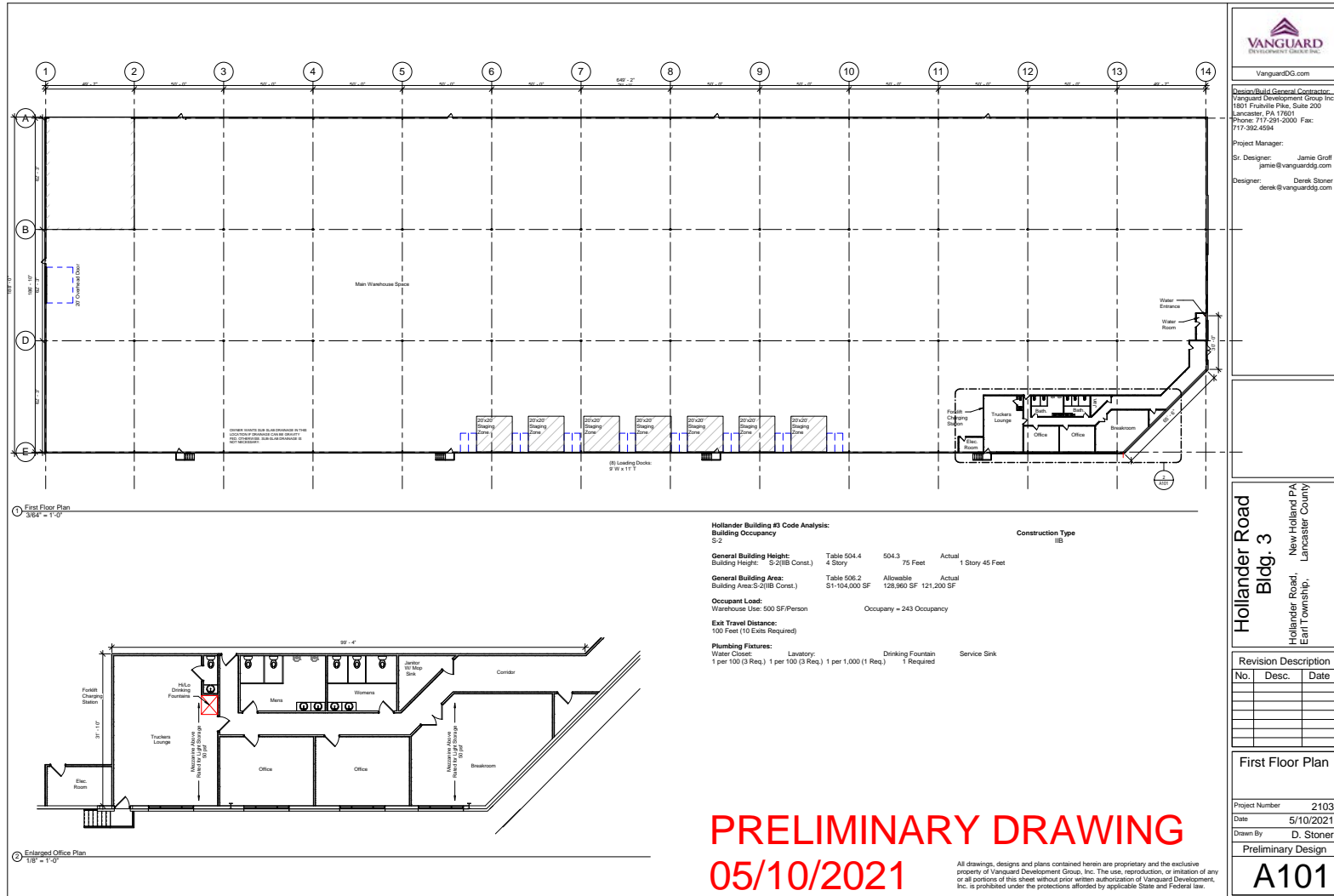
± 121,000 SF

INDUSTRIAL BUILDING “TO BE BUILT”



LOCATION:	570 North Hollander Road, Earl Township, New Holland, PA 17557	
AVAILABLE SF:	Warehouse: ± 118,000 SF	Office: ± 3,000 SF
BUILDING FEATURES:	Pre-engineered steel Metal siding Paved parking Dock levelers	6" Concrete floors Standing seam metal roof ADA bathrooms Sprinkler System
CEILING HEIGHT:	40' Clear Height	
LOADING DOCKS:	Eight - 9' x 10'	
OVERHEAD DOORS:	One - 20' x 14'	
UTILITIES:	Electric: 3-Phase; 480V; 800 AMP HVAC: Central air in office, gas heat units in warehouse Sewer: Public Water: Public	
LOT SIZE:	± 10 acres	
ZONING:	I - Industrial	
LEASE RATE:	\$9.50 PSF NNN	

PRELIMINARY FLOOR PLAN



VanguardDG.com
 Design/Build General Contractor:
 Vanguard Development Group Inc.
 1801 Frohlie Pike, Suite 200
 Lancaster, PA 17601
 Phone: 717-291-2000 Fax:
 717-392-4584
 Project Manager:
 Sr. Designer: Jamie Groff
 jamie@vanguardsg.com
 Designer: Derek Stoner
 derek@vanguardsg.com

**Hollander Road
 Bldg. 3**
 Hollander Road, P.A.
 New Holland PA
 Earl Township, Lancaster County



ELEVATION

South
3/8" = 1'-0"

North
3/8" = 1'-0"

Enlarged South Elevation 1
1/8" = 1'-0"

Enlarged South Elevation 2
1/8" = 1'-0"

**PRELIMINARY
DRAWING
05/10/2021**

Hollander Road
Bldg. 3
New Holland PA
Hollander Road,
Earl Township,
Lancaster County

A200

Project Number 2103
Date 5/10/2021
Drawn By D. Stoner
Preliminary Design

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VANGUARD
Development Group, Inc.
VanguardDG.com

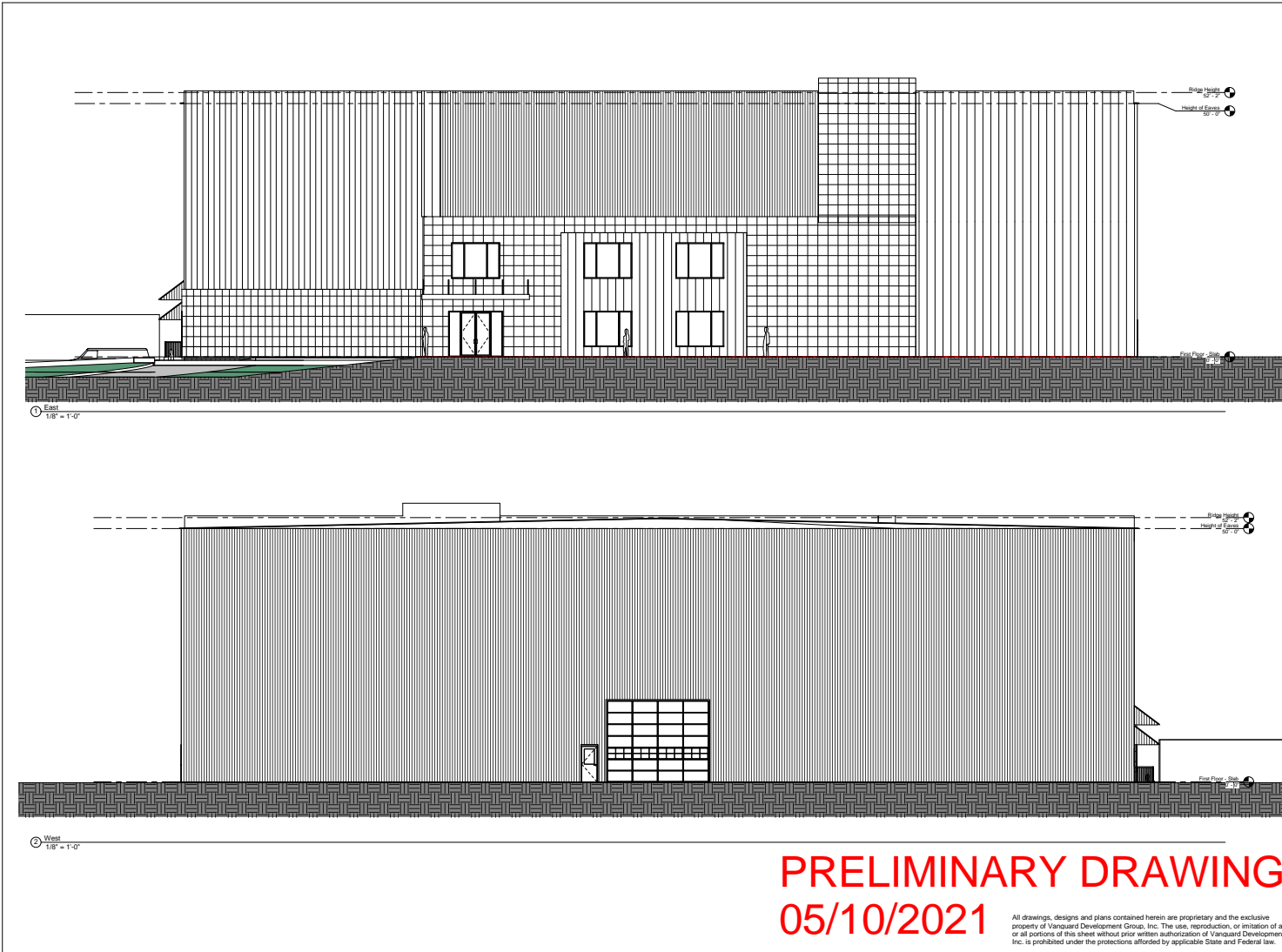
Design/Build General Contractor:
Vanguard Development Group Inc.
1801 Franklin Pike, Suite 200
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Phone: 717-291-2000 Fax:
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Project Manager:
Sr. Designer: Jamie Groff
jamie@vanguarddg.com
Designer: Derek Stoner
derek@vanguarddg.com

Revision Description		
No.	Desc.	Date

Building Elevations

ELEVATION



VanguardDG.com

Design/Build General Contractor:
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Hollander Road
 Bldg. 3
 New Holland PA
 Hollander Road,
 Earl Township,
 Lancaster County

Revision Description		
No.	Desc.	Date

Building Elevations

Project Number 2103
 Date 5/10/2021
 Drawn By D. Stoner
 Preliminary Design
A201

PRELIMINARY DRAWING
05/10/2021

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LOT PLAN



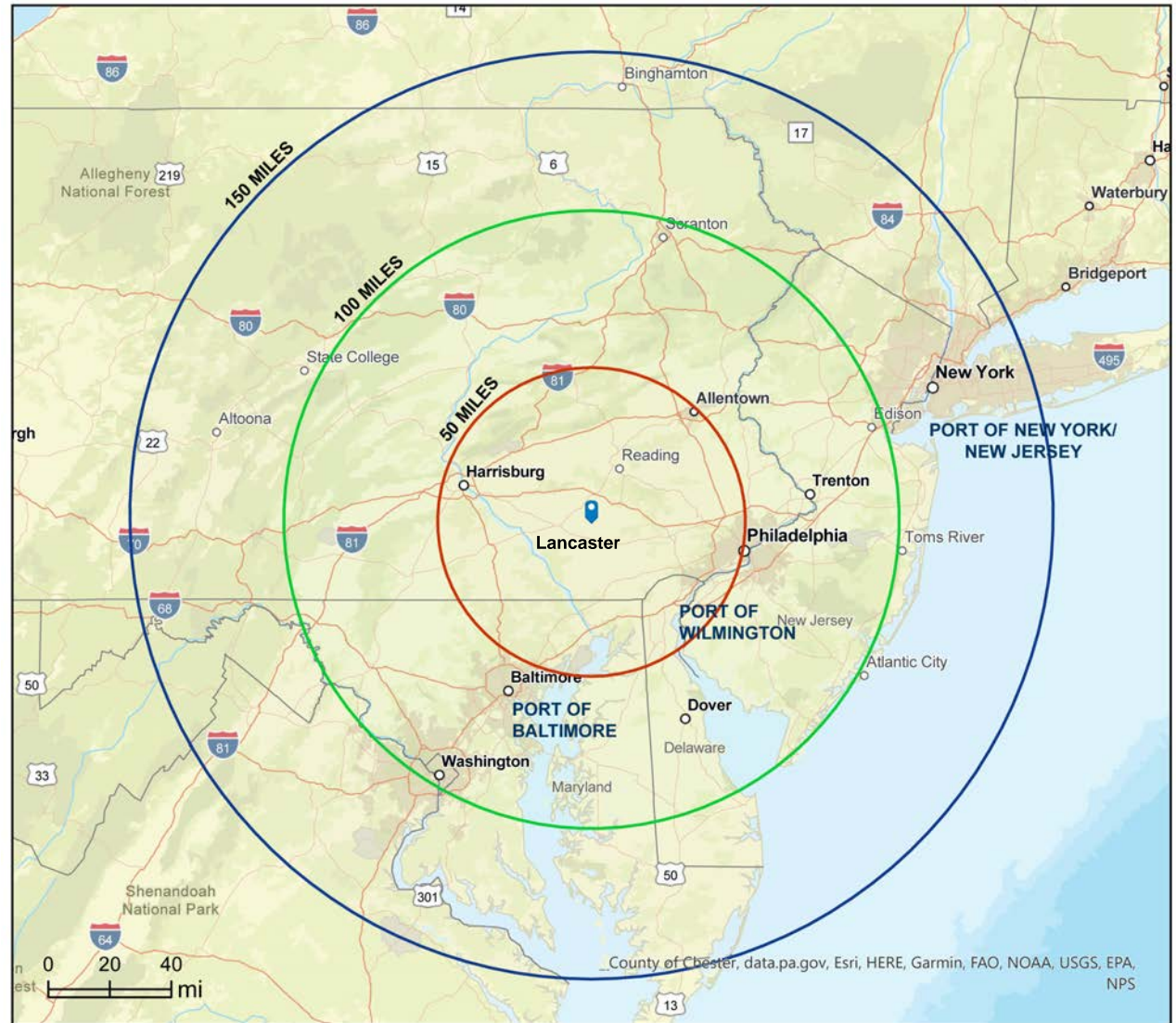
DISTANCES TO HIGHWAYS, MAJOR CITIES & PORTS

Distances to Highways:

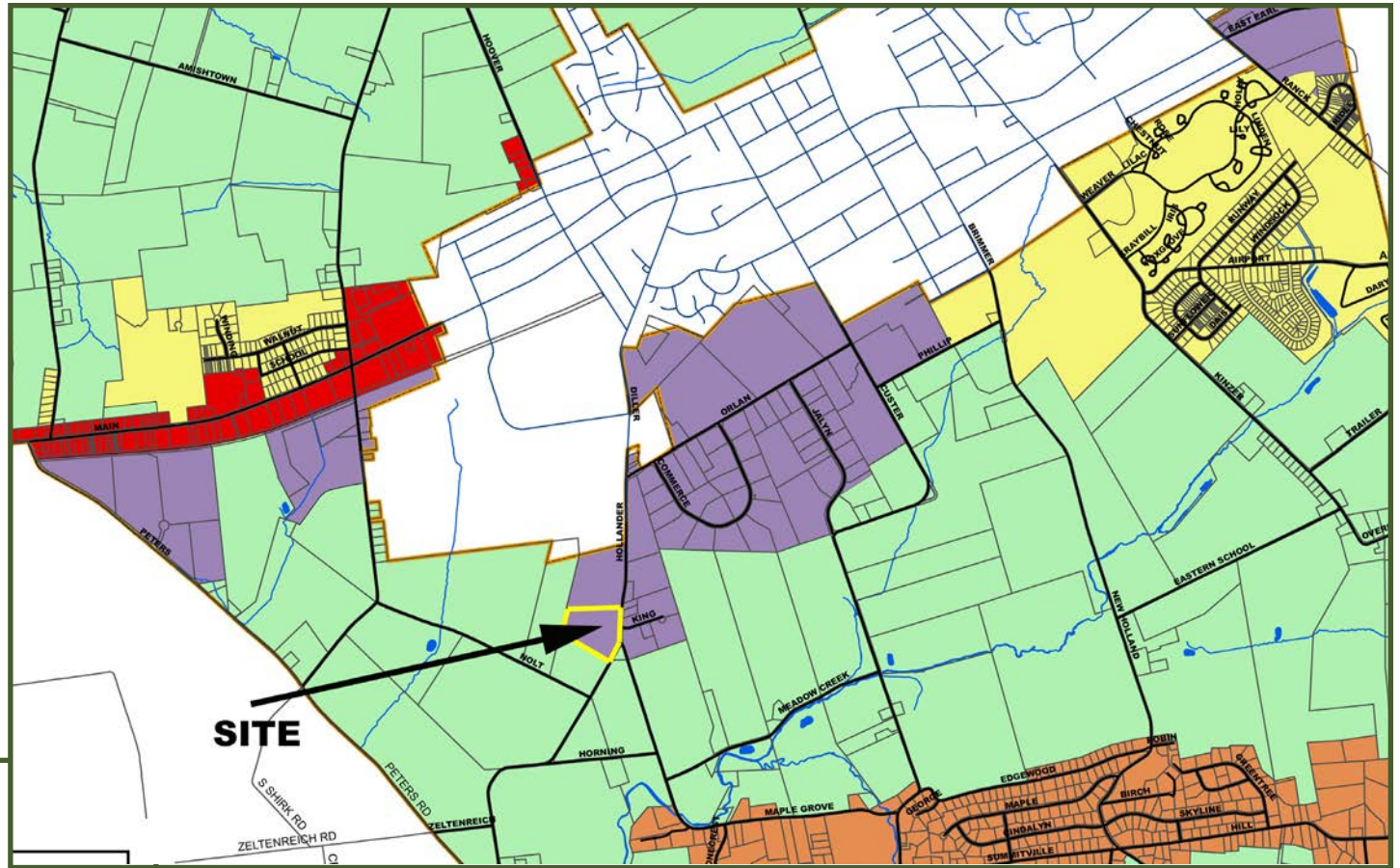
Route 30	11 miles
Route 222	7 miles
PA Turnpike	13 miles
Route 78	42 miles
Route 81	53 miles

Distances to Major Cities:

Harrisburg, PA	50 miles
Philadelphia, PA	61 miles
Baltimore, MD	94 miles
Washington, D.C.	134 miles
New York, NY	145 miles



ZONING MAP



Legend

-  AGRICULTURAL
-  COMMERCIAL
-  INDUSTRIAL
-  RESIDENTIAL
-  RURAL RESIDENTIAL

ZONING

§ 27-801

ZONING

§ 27-802

PART 8

I — INDUSTRIAL DISTRICT

§ 27-801. Intent. [Ord. 11/4/1996, § 800]

The I — Industrial District seeks to provide areas in the Township for various types of industrial uses, including both light and heavy industrial uses. These land uses are subject to industrial performance standards whereby public health and safety shall be maintained through controls on noise, smoke, odors or other potentially hazardous or dangerous conditions. Additional screening and landscaping controls exist to promote a safe and attractive site design and to minimize objectionable impacts associated with industrial uses.

§ 27-802. Permitted Uses. [Ord. 11/4/1996, § 801; as amended by Ord. 3-1999, 5/3/1999, § 1; by Ord. 3-2005, 9/6/2005, § 7(1-3); and by Ord. 2011-02, 8/1/2011]

Land and buildings in the I — Industrial District shall be used only for the following purposes:

A. Administrative office buildings, provided that:

- (1) The applicant shall demonstrate that access to and the design of the parking facilities shall not create vehicle backups onto existing abutting streets.
- (2) All parking facilities shall be constructed and maintained with a paved surface of concrete or bituminous material, or other dust-free surface as approved by the Board of Supervisors.
- (3) The maximum building coverage shall be no greater than 25%.
- (4) The maximum lot coverage shall be no greater than 70%.
- (5) The minimum landscape area shall be no less than 30%.
- (6) No building shall be placed closer than 30 feet to any property line. Where there exists a more stringent requirement, such requirement shall apply. Off-street parking shall not be permitted within side and rear yard setback areas.

B. Automobile filling stations, provided that;

- (1) The subject property shall be at least 300 feet from the property line of any parcel containing a school, day care facility, playground, library or nursing, rest or retirement home.
- (2) Any vehicle not receiving repair work within the preceding seven days shall be removed.

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§ 27-802

EARL CODE

§ 27-802

- (3) Gasoline pump islands shall be at least 30 feet from the street right-of-way line.
 - (4) Entrances and exits shall be a minimum of 30 feet in width.
 - (5) All ventilation equipment associated with fuel storage tanks shall be at least 100 feet from any adjoining residential property or residentially-zoned property.
 - (6) All uses involving drive-through service shall provide sufficient on-site stacking lanes to prevent vehicle backups on adjoining roads.
- C. Automobile, truck, boat, farm equipment, and other motor vehicle sales, service and repair facilities, provided that:
- (1) All sales, service and/or repair activities shall be conducted within a single, wholly-enclosed building.
 - (2) No outdoor storage of parts, equipment, lubricants, fuel or other materials used or discarded as part of the service operation shall be permitted. Materials discarded as part of the service operation shall be contained within wholly-enclosed dumpster equipment.
 - (3) All exterior vehicle storage areas shall be screened from adjoining residential and residentially-zoned property.
 - (4) All ventilation equipment associated with fuel storage tanks shall be at least 100 feet and oriented away from any adjoining residential property or residentially-zoned property.
 - (5) All vehicles shall be repaired and removed from the premises as promptly as possible. Any vehicle not receiving repair work within the preceding seven days shall be removed.
 - (6) The demolition or storage of junked vehicles is prohibited.
- D. Car washes, provided that:
- (1) Public sewer and water facilities shall be provided.
 - (2) Each car wash bay shall allow for a stacking of three vehicles.
 - (3) All structures shall have a minimum setback of 100 feet from any street right-of-way line, 50 feet from any rear property line, and 25 feet from any side lot line.
 - (4) The site shall be kept debris and trash free with the owner or manager of the car wash responsible for site maintenance.
 - (5) All lighting facilities shall be designed and located so as to not produce a glare or direct illumination onto abutting properties.

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- E. Farm buildings, farming and agricultural uses, provided that:
- (1) Poultry houses for housing more than 500 birds shall not be located closer than 300 feet from all property lines and street right-of-way lines except as provided for in Subsection A(3) of this Section.
 - (2) Structures for housing more than 25 head of livestock shall not be located closer than 300 feet from all property lines and street right-of-way lines except as provided for in Subsection A(3) of this Section.
 - (3) If the owner of the proposed structure owns the land on the other side of the road opposite the location of the proposed structure, such structure need only be setback 100 feet from the street right-of-way line; provided, however, that the structure shall not be closer than 300 feet to the property line.
- F. Grain and feed processing operations, provided that:
- (1) The applicant shall demonstrate that the grain and feed processing operation allows for the safe and efficient movement of all vehicles associated with the operation.
 - (2) All proposed entrances and exits to the grain and feed processing operation shall be designed and improved in a manner which does not allow mud or gravel to be deposited or accumulate on or along abutting public streets.
 - (3) Any commercial structure in excess of 35 feet shall be set back from all property lines a distance of two times the height of the structure.
 - (4) When determined by the Board of Supervisors, suitable buffering shall be provided when any structure, access drive, and parking, loading, or unloading areas are located within 150 feet of adjacent residential structures.
- G. Laboratories for scientific or industrial research and development.
- (1) The applicant shall demonstrate compliance with all applicable industrial performance standards stated in § 27-805 of this Chapter.
 - (2) All animals used in research shall be housed in an enclosed all-weather protective structure between the hours of 8:00 p.m. and 7:00 a.m. each day.
- H. Mini-warehouses, provided that.
- (1) One off-street parking space shall be provided for each 25 storage units, plus one space per 250 square feet of office space.

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EARL CODE

§ 27-802

- (2) Parking shall also be provided along the driving lanes adjacent to the building(s). These lanes shall be at least 26 feet wide when storage units open onto one side of the lane only, and at least 30 feet wide when storage units open onto both sides of the lane.
- (3) Additional external storage area may be provided for the storage of privately-owned travel trailers and/or boats, so long as such external storage area is screened from adjoining residential and/or residentially-zoned property and adjoining roads and is located behind the minimum front yard setback line. This provision shall not be interpreted to permit the storage of partially dismantled, wrecked, inoperative or unlicensed/unregistered vehicles.
- (4) All storage shall be kept within an enclosed building, except that the storage of flammable, highly combustible, explosive or hazardous chemicals shall be prohibited. Any fuel tanks and/or machinery or other apparatus relying upon such fuels shall only be stored in an external storage area as described above.
- (5) The repair, construction or reconstruction of any boat, engine, motor vehicle or furniture is prohibited.
- (6) The applicant shall demonstrate how any door openings for any mini-warehouse storage unit facing any residential and/or residentially-zoned property shall not have an adverse effect upon that property.
- (7) Mini-warehouses shall be used solely for the dead storage of property. The following are examples of uses expressly prohibited upon the site:
 - (a) Auctions, commercial wholesale or retail sales or garage sales.
 - (b) The servicing, repair or fabrication of motor vehicles boats, trailers, lawn mowers, appliances or other similar equipment.
 - (c) The operation of power tools, spray-painting equipment, table saws, lathes, compressors welding equipment, kilns or other similar equipment.
 - (d) The establishment of a transfer and storage business.
 - (e) Any use that is noxious or offensive because of odors, dust, noise, fumes or vibrations.
- (8) The applicant shall adequately demonstrate that all mini-warehouse rental and/or use contracts shall specifically prohibit these uses.
 - I. Municipal uses.

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§ 27-802

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§ 27-803

- J. Accessory buildings and uses customarily incidental to the above permitted uses when located on the same lot.
- K. Industrial activities involving processing, production, repair, packaging, or testing of materials, goods and/or products involving those industries primarily performing conversion, assembly or nontoxic chemical operations.
- L. Wholesale distribution of industrial products, including lumber and coal yards, building material storage yards, contractors' equipment and storage yards and commercial warehouses.
- M. Forestry activities.
- N. Geothermal uses.
[Added by Ord. 2013-07, 5/6/2013]
- O. Small solar energy systems.
[Added by Ord. 2013-07, 5/6/2013]
- P. Small wind energy systems.
[Added by Ord. 2013-07, 5/6/2013]

§ 27-803. Special Exceptions. [Ord. 11/4/1996, § 802; as amended by Ord. 3-1999, 5/3/1999, § 2; and by Ord. 3-2005, 9/6/2005, § 7(4)]

The establishment and/or expansion of the following uses are permitted when special exceptions are granted by the Zoning Hearing Board in conformance with Part 16 and other provisions of this Chapter:

- A. Adult-oriented businesses.
- B. Communications towers and antennas for the purpose of facilitating communications services and attendant support structures in accordance with § 27-1412.
- C. Junkyards.
- D. Recycling centers.
- E. Truck or motor freight terminal.
- F. Large solar energy production systems.
[Added by Ord. 2013-07, 5/6/2013]
- G. Large wind energy production systems.
[Added by Ord. 2013-07, 5/6/2013]

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5/5/2014

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