



THE LIGHT
420 BROADWAY

CLASS A OFFICE SPACE

148,347± RSF

DELIVERING Q4 2019



A SAN ANTONIO ICON FOR TODAY'S TENANT

For six decades, the 1931 Spanish Colonial Revival building was home to the San Antonio Light newspaper. Today, GrayStreet Partners is activating the building to emit as much energy and light as it takes in with its mix of tenants from the creative, tech and financial sectors.

FEATURES

- | | |
|---|---|
| ● 148,347± RSF CLASS A OFFICE BUILDING | ● MODERN OFFICE WITH A HISTORIC FEEL |
| ● STATE OF THE ART BUILDING SYSTEMS | ● LIGHT WELLS |
| ● NEW CHILLERS | ● HIGH CEILINGS |
| ● NEW AIR HANDLERS | ● CLASS A OFFICE FINISHES |
| ● NEW EXTERIOR GLAZING | ● UP TO 35,453± CONTIGUOUS SF PER FLOOR |
| ● NEW ELEVATORS | ● PUBLIC AND PRIVATE BALCONIES |
| ● HIGH PARKING RATIO UP TO 10/1,000 | ● OPEN CONCEPT LAYOUT |
| ● PROJECTED LEED EB GOLD | ● SYSTEMS BUILT TO HANDLE HIGH DENSITY USERS |

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DOWNTOWN RISING

The Historic Light Building is under full renovation to bring San Antonio's iconic Broadway corridor new life.

ABOUT THE AREA

- Best downtown highway accessibility
- Downtown appeal, uptown convenience
- Fiesta Parade route
- 10 blocks to the Pearl
- 7 blocks to the Convention Center
- 4 blocks to Houston Street



*THE LIGHT BUILDING, Circa 1950
Photo credit: UTSA Special Collections*


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 **TRANSWESTERN**[®]

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ROOF TERRACE



NORTHEAST VIEW



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URBAN REGENERATION

MAXIMIZING USABLE OPEN SPACE TO PROVIDE OPPORTUNITIES FOR PASSIVE RECREATION & COMMUNITY GATHERING



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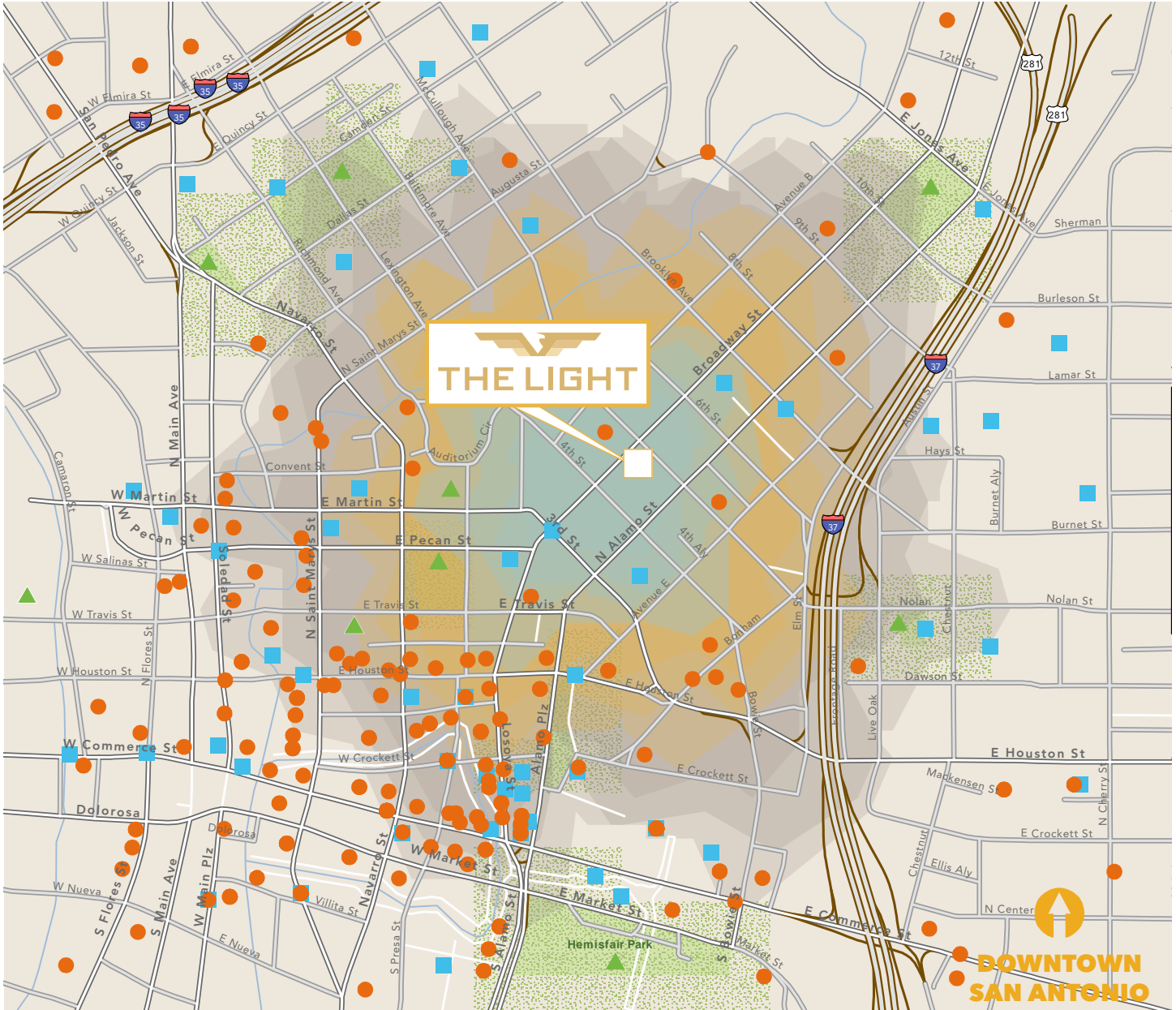
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NORTH SIDE VIEW





WALKABLE AMENITIES



WALK TIME AREAS IN MINUTES

- 1-3 MINUTES
- 4-7 MINUTES
- 8-11 MINUTES

AREA AMENITIES

- CAFES & DINING
- SHOPPING
- GYMS & PUBLIC PARKS



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PARKING & ACCESSIBILITY

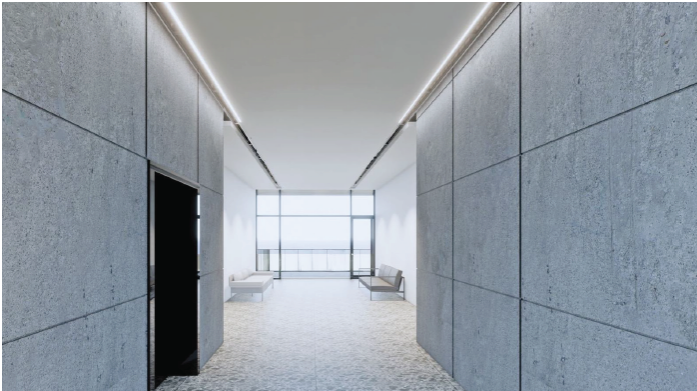


FLOORPLAN

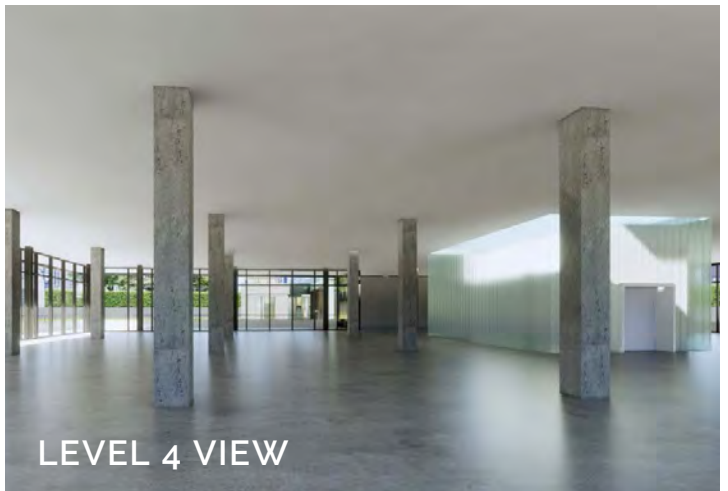
AVAILABLE SPACE



INTERIOR RENDERS



LEVEL 1 MEZZANINE VIEW



LEVEL 4 VIEW





SITE PLAN



SOUTHWEST VIEW



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TRANSFORMING AN ICON

ENHANCING THE PEDESTRIAN EXPERIENCE WITH HIGH QUALITY STREETScape DESIGNS



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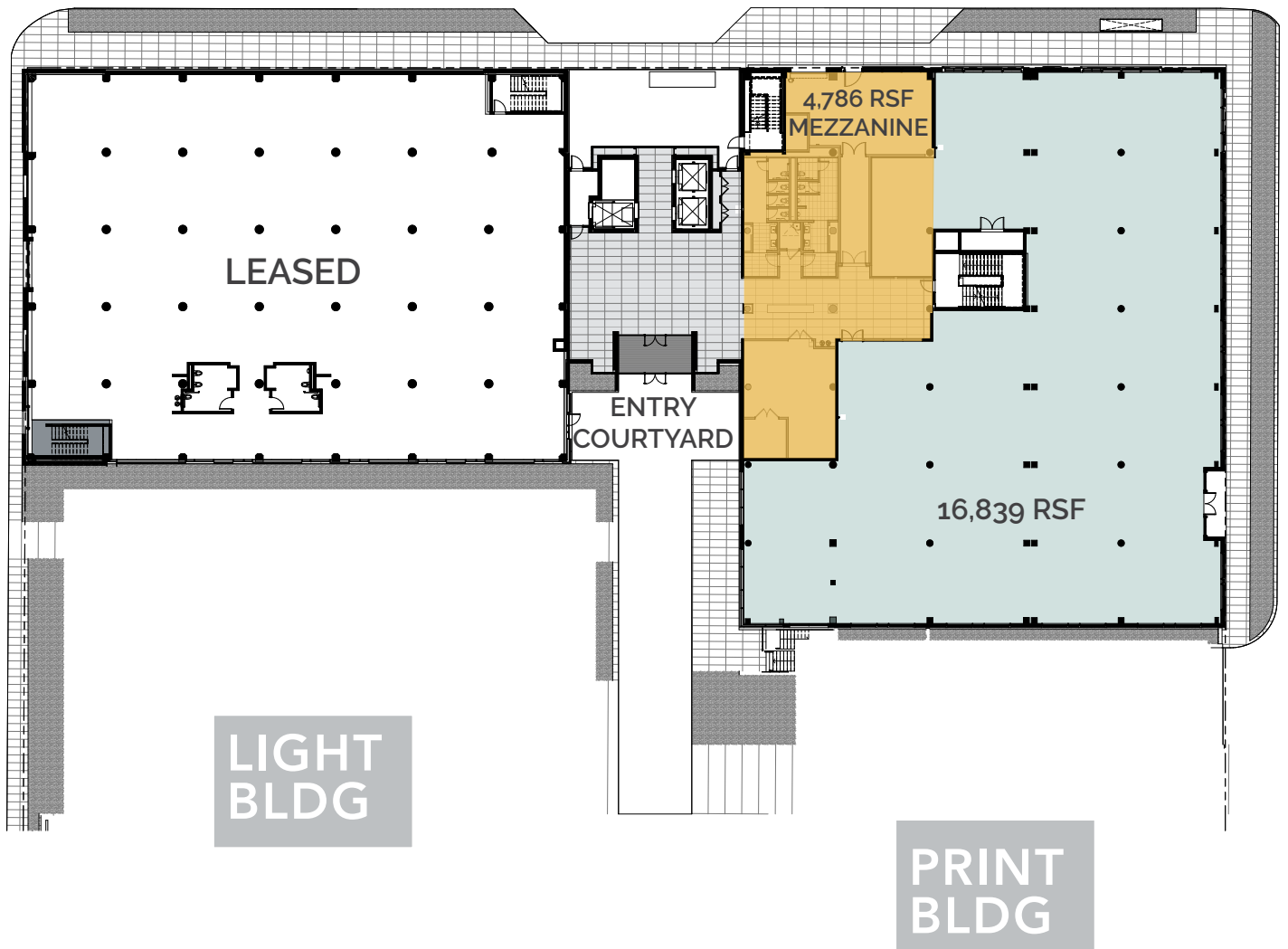
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FLOORPLAN

AVAILABLE SPACE

FLOOR 1

21,625± RSF CONTIGUOUS



-  AVAILABLE OFFICE SPACE
-  MEZZANINE
-  MAIN LOBBY

Gensler

 **TRANSWESTERN**®

FLOORPLAN

AVAILABLE SPACE

FLOOR 2

UPTO 28,264± RSF



LIGHT
BLDG

PRINT
BLDG

 AVAILABLE OFFICE SPACE

 BALCONY

 LOBBY

Gensler

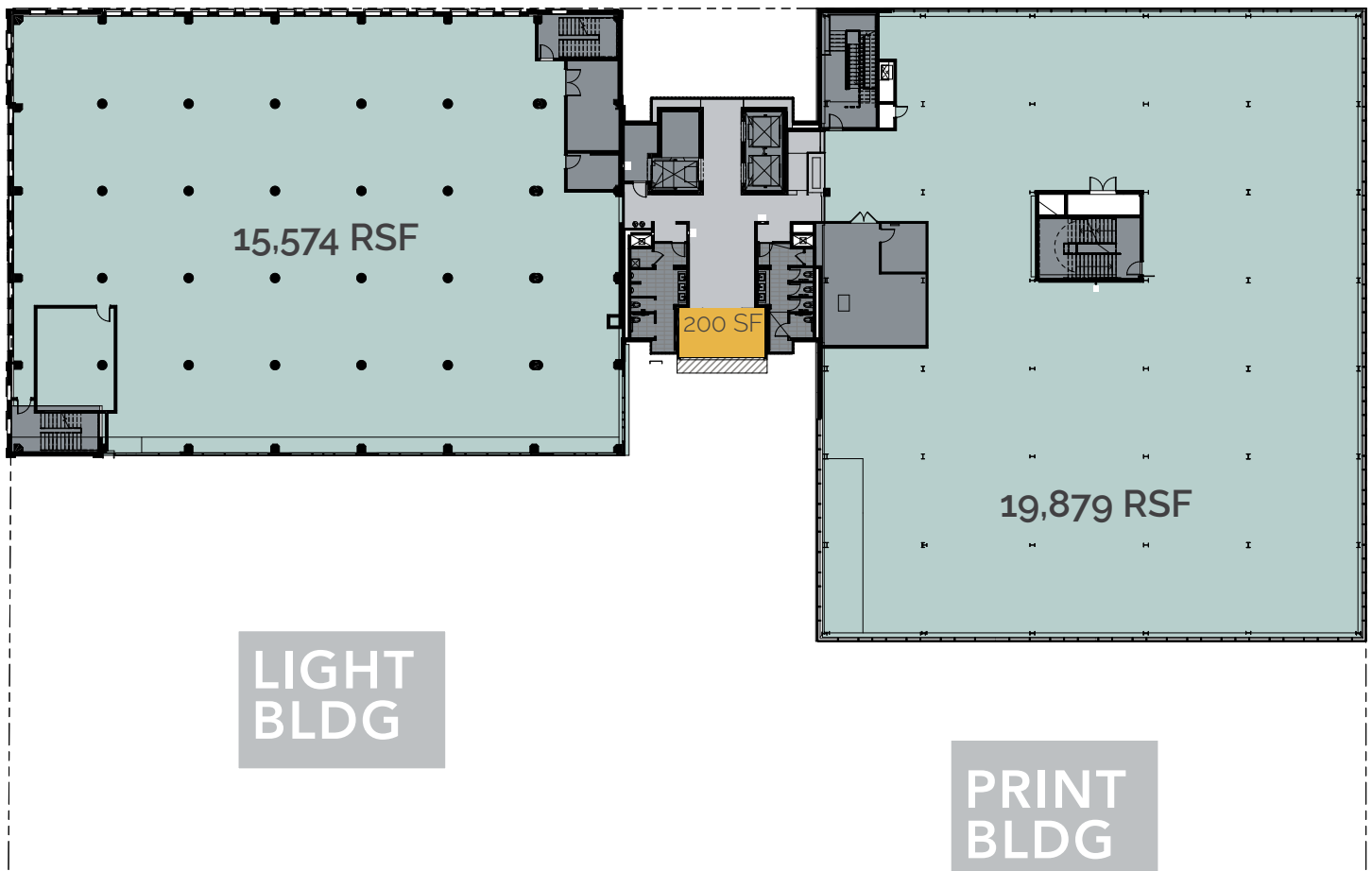
 **TRANSWESTERN**[®]

FLOORPLAN

AVAILABLE SPACE

FLOOR 3

35,453± RSF CONTIGUOUS



-  AVAILABLE OFFICE SPACE
-  BALCONY
-  LOBBY

Gensler

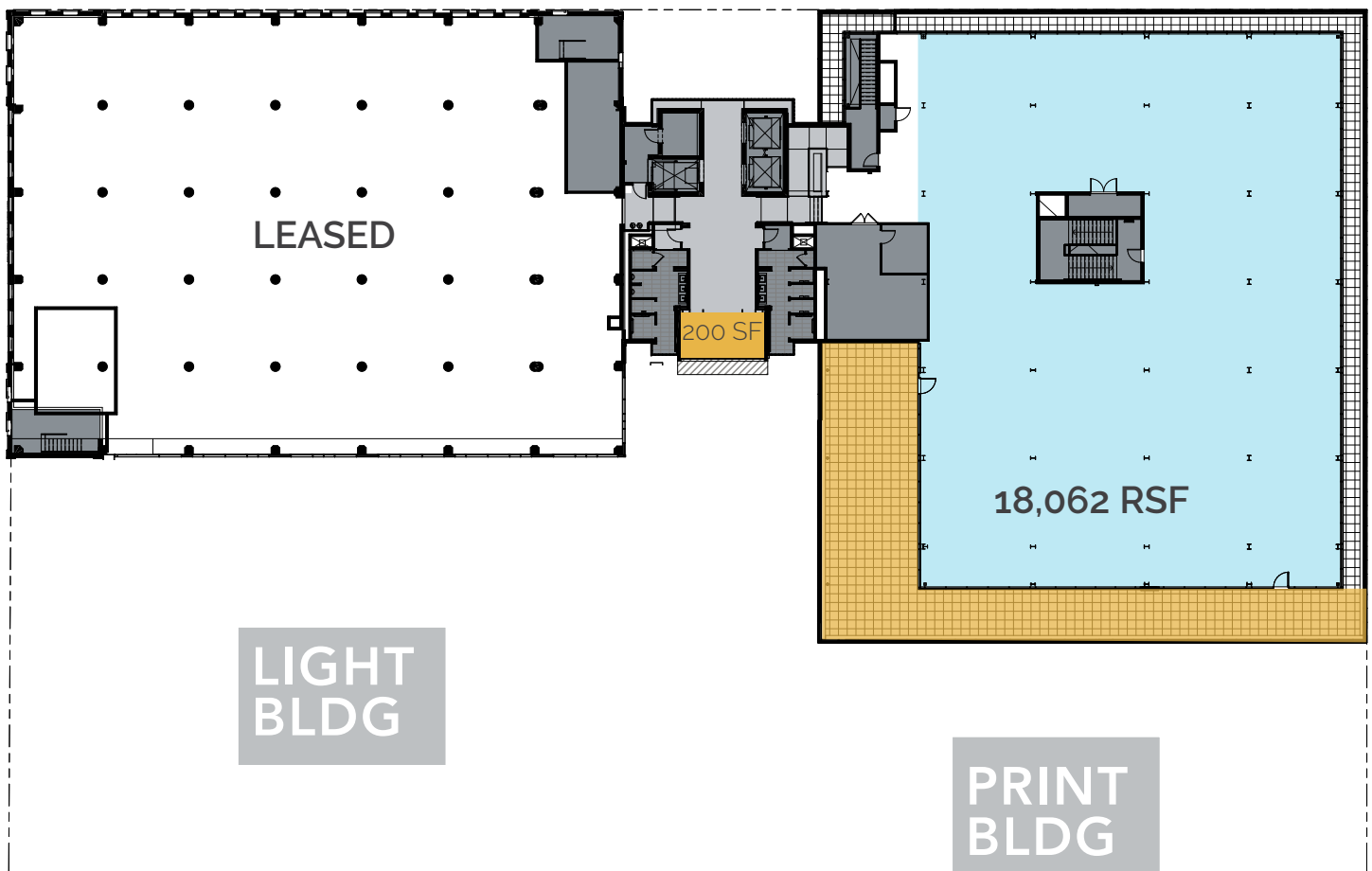
 **TRANSWESTERN**®

FLOORPLAN

AVAILABLE SPACE

FLOOR 4

18,062± RSF CONTIGUOUS



-  AVAILABLE OFFICE SPACE
-  BALCONY
-  LOBBY

Gensler

 **TRANSWESTERN**®



THE LIGHT
420 BROADWAY

CLASS A OFFICE SPACE

148,347± RSF

DELIVERING Q4 2019



DEVELOPED BY

GRAY SI PARTNERS

INVESTMENT MANAGEMENT

ARCHITECT

Gensler

EXCLUSIVE BROKER

 **TRANSWESTERN**[®]

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