

Fully Leased Retail Property Plus Development Opportunity on Adjacent Land

2407 & 2423 Fairfield Avenue
Bridgeport, Connecticut 06605



For Sale at \$1,150,000.00

- ▶ Fully Leased Retail Property Plus Development Opportunity on Adjacent Land for Sale Near Major Thoroughfares in the Black Rock Section of Bridgeport, CT
- ▶ Situated on two parcels totaling 0.77 acres in an Office / Retail Zone. Fenced property is at the corners of Fairfield Avenue and Martin Terrace with 147.35 linear feet of frontage on Fairfield Avenue (Route 130).
- ▶ 7,788 SF building on 0.42 acres features air conditioning, two restrooms, and one loading dock. Currently leased to Laundromat Plus. Plus 0.35 acre adjacent parcel available for development.
- ▶ Central to popular restaurants and retailers in the Black Rock Section of Bridgeport, CT.
- ▶ Conveniently located 0.7 miles from I-95 Exit 25, two miles to Route 8 which connects to Route 25 and the Merritt Parkway, and one mile from the Fairfield Metro Train Station.
- ▶ On a Greater Bridgeport Transit bus line and near Wakeman Boys & Girls Club, Redline Restorations, Marine Sport Center, Dunkin' Donuts, Stop & Shop, Wendys, and a U.S. Post Office.

Broker: Jon Angel
President
 203.335.6600, Ext. 21
 jangel@angelcommercial.com

ANGEL 
 COMMERCIAL, L.L.C.

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No warranty or representation, express or implied is made as to the accuracy of the information contained herein, and same is submitted subject to errors, omissions, change of price, rental or other conditions, withdrawal without notice and to any special listing conditions imposed by our principals.



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Fully Leased Retail Property Plus Development Opportunity on Adjacent Land for Sale Near Major Thoroughfares in the Black Rock Section of Bridgeport, CT: Situated on two parcels totaling 0.77 acres in an Office / Retail Zone, the fenced property is at the corners of Fairfield Avenue and Martin Terrace with 147.35 linear feet of frontage on Fairfield Avenue (Route 130).

The 7,788 SF building on 0.42 acres features air conditioning, two restrooms, and one loading dock. It is currently leased to Laundromat Plus. There is also a 0.35 acre adjacent parcel available for development.

The property is central to popular restaurants and retailers in the Black Rock Section of Bridgeport, CT. It is conveniently located 0.7 miles from I-95 Exit 25, Two miles to Route 8 which connects to Route 25 and the Merritt Parkway, and one mile from the Fairfield Metro Train Station. It is on a Greater Bridgeport Transit bus line and near Wakeman Boys & Girls Club, Redline Restorations, Marine Sport Center, Dunkin' Donuts, Wendy's, Stop & Shop, and a U.S. Post Office.

The Site

Total Building Size:	7,788 SF
Land:	0.77 acres
Real Estate Taxes:	\$22,867.50 (2018)
Zoning:	Office / Retail (OR)
Construction:	Concrete / Cinder Block
Year Built:	1981
Stories:	One
Tenancy:	Single

Features

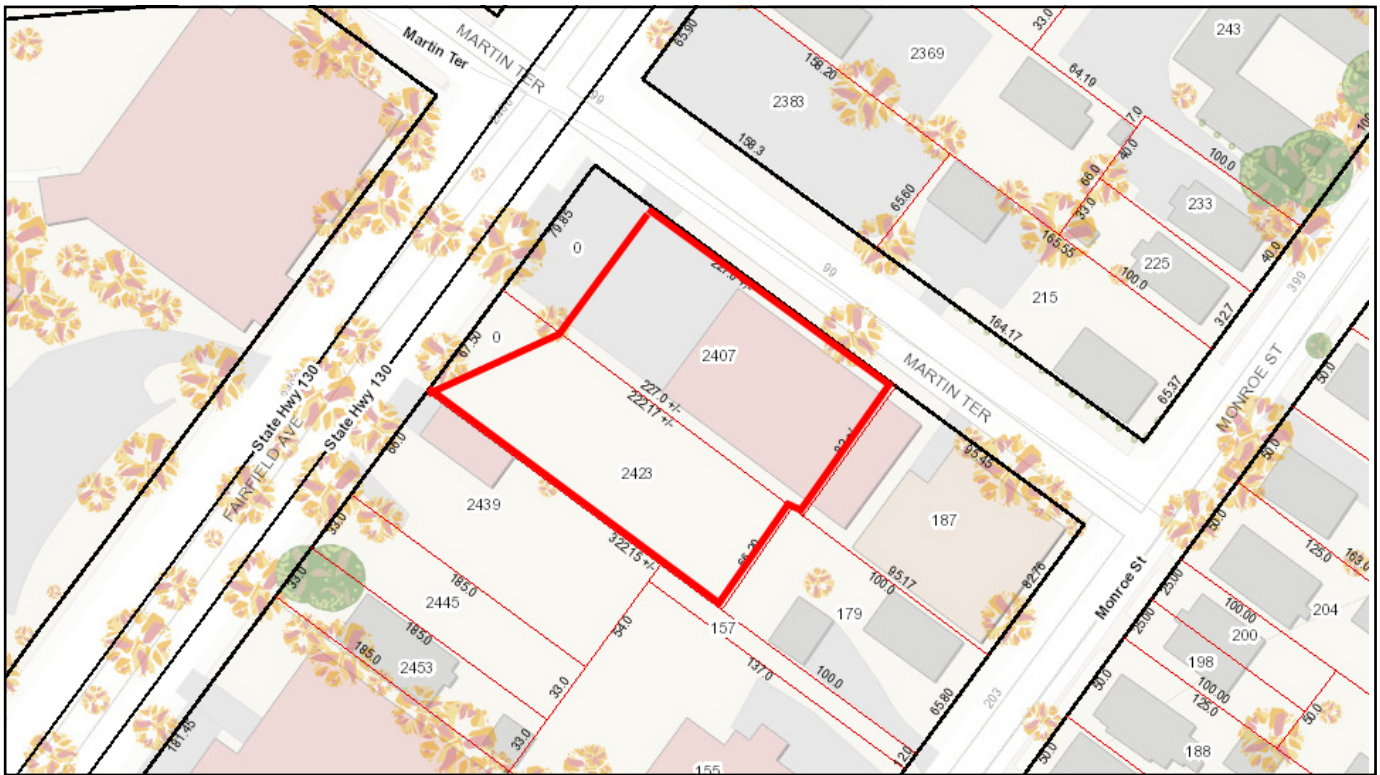
Traffic Count:	14,500 Average Daily Volume
Ceiling Height:	10' 6"
Parking:	17 Spaces
Loading:	One Loading Dock
Amenities:	Fenced, Men/s & Women's Restrooms, Handicapped Accessible

Utilities

Water/Sewer:	City/City
Heating:	Gas
A/C:	Air Conditioning
Power:	3 Phase/400 Amps

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0.77 Acres

147.35 linear feet of frontage
on Fairfield Avenue (Route 130)

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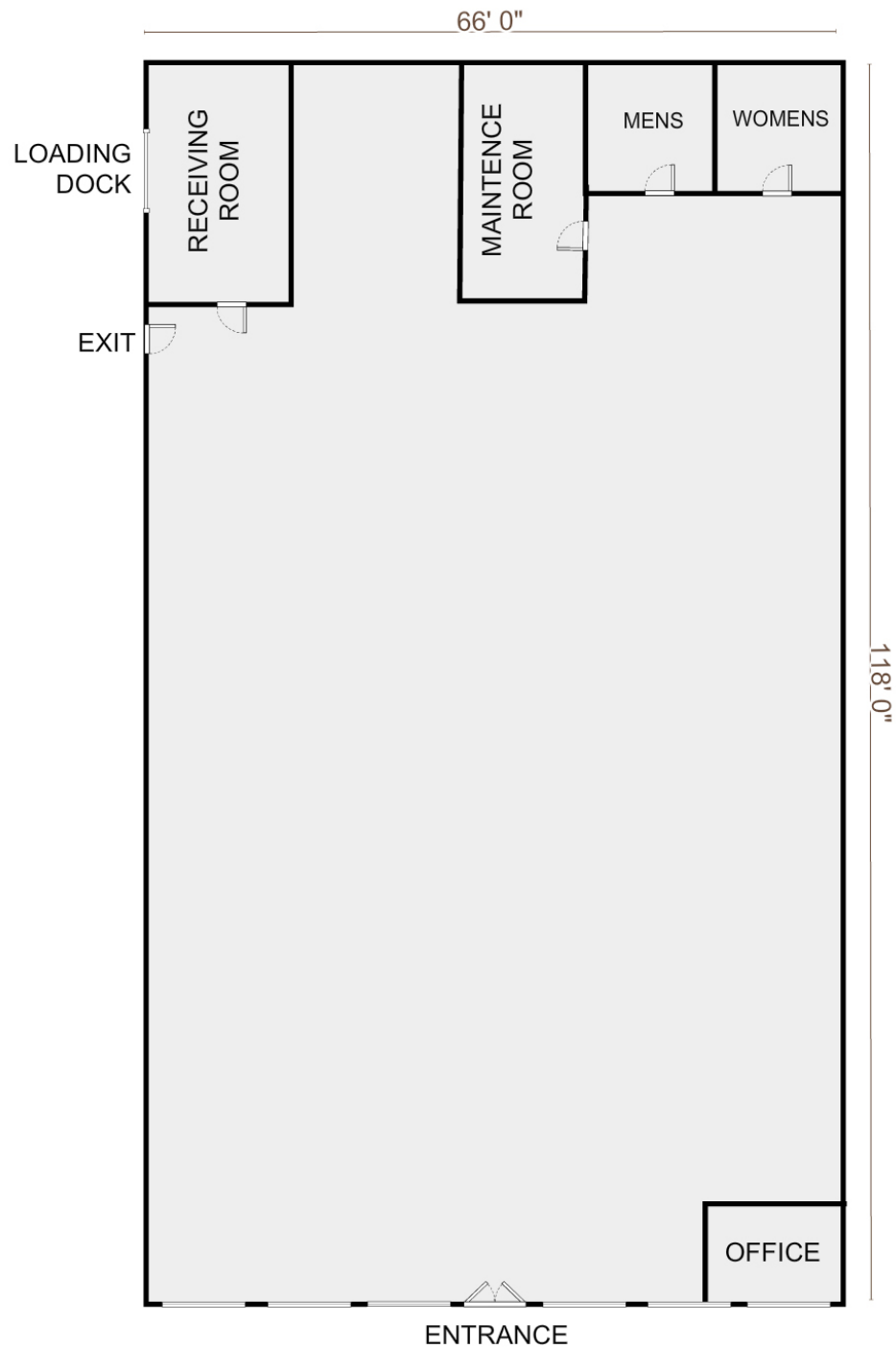
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For Sale

2407 & 2423 Fairfield Avenue

Floor Plan - NOT TO SCALE

Bridgeport, Connecticut 06605



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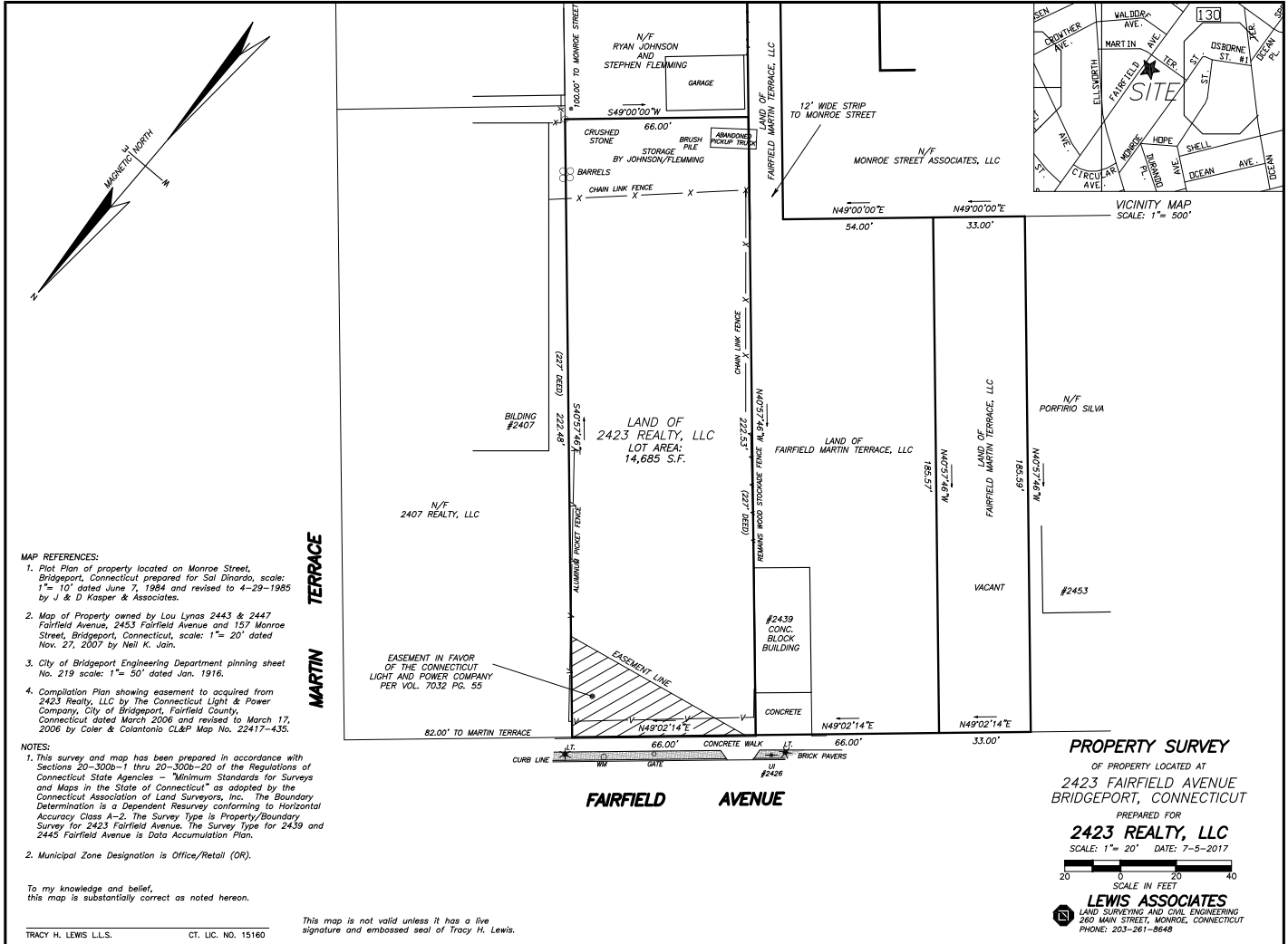
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For Sale

A2 Survey

2423 Fairfield Avenue

Bridgeport, Connecticut 06605



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For Sale

2407 & 2423 Fairfield Avenue

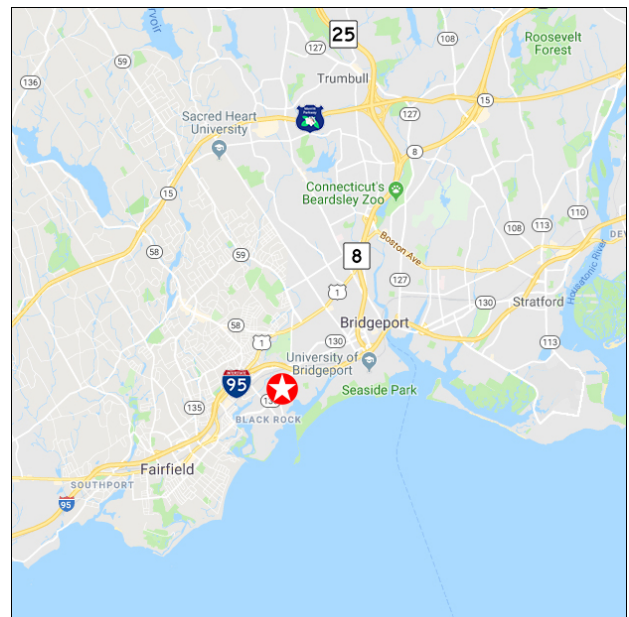
Location Map

Bridgeport, Connecticut 06605



Conveniently located
0.7 miles from I-95 Exit 25,
two miles to Route 8 which connects to
Route 25 and the Merritt Parkway, and
one mile from the
Fairfield Metro Train Station.

On a Greater Bridgeport Transit bus line
and near Wakeman Boys & Girls Club,
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For Sale

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Photo Gallery

Bridgeport, Connecticut 06605



FULLY LEASED BUILDING



CORNER LOCATION



7,788 SF OF SPACE



10.5' CEILING HEIGHT



MENS & WOMENS RESTROOMS



ADJACENT 0.35 ACRES FOR DEVELOPMENT

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Bridgeport, CT – Office/Retail (OR)

Please visit the City of Bridgeport website for complete zoning regulations.

ARTICLE 6 OFFICE / RETAIL ZONES

Section 6-1 Office/Retail Zones

6-1-1 Purpose: The Office/Retail Base Zones established by these Regulations are: Office/Retail (OR), Office/Retail-General (OR-G); and Office-Retail Regional (OR-R). The different Office/Retail base zones are intended to reflect the diversity of Bridgeport's commercial areas. The zones are distinguished by the uses allowed and the intensity of development allowed. Some of the zones encourage office/retail areas that are supportive of surrounding residential neighborhoods, while other zones allow office/retail areas which have a city-wide or regional market. The regulations are intended to promote uses and development which will enhance the economic viability of the specific office/retail zone and the city as a whole.

The following Design Standards are intended as an instrument to improve Office/Retail zones by:

1. Creating a safe, vibrant mixed-use urban district which is welcoming to businesses, residents and visitors.
2. Promoting diverse pedestrian and transit oriented development at street level.
3. Encouraging a variety of interesting design styles, features and amenities.
4. Promoting sustainable design and development practices consistent with LEED guidelines

6-1-2 Use Regulations:

- a. **Use Regulations:** See Table 2, Use Table for Non-Residential Zones for all Office/Retail base zones.
- b. **Use Categories:** See Table 6, Use Categories for Non-Residential Zones.

6-1-3 Office/Retail Base Zone Development Standards:

- a. Zone Development Standards for Office/Retail (OR) and Office/Retail General (OR-G) zones are set forth in Table 4.B.
- b. Zone Development Standards for the Office/Retail Regional (OR-R) zone are set forth in Table 4.A.
- c. See **Table 4.I** for building dimension standards applicable in the OR & OR-G zones.

Additional standards may be set forth as needed in other tables.

Zoning regulations provided herein are subject to change without notice. Please visit the City of Bridgeport website to view current zoning regulations.

6-1-4 Urban Design Guidelines: OR & OR-G Zones

Intent: Reinforce pedestrian activity, orientation to ground floor activities, and enhance liveliness of the street through building and parking location for Office/Retail (OR) and Office/Retail General (OR-G) zones.

a. Building Siting:

1. New development must be compatible with a street level design and shall serve to enliven the street and provide a continuous border of interest. Buildings shall be pedestrian-oriented and aligned to the sidewalk. If the property has more than one street frontage, the main elevation and primary entrance must front the primary street.
 2. Locate the building at the sidewalk edge, front setback line or street lot line to maintain a continuous building wall with minimum interruptions only for permitted driveways. To accommodate outdoor seating for food establishments an additional 5 feet of front setback is allowed.
 3. Minimum 75% of the building length must meet the front setback line, except for special entry features, angled building corners, architectural articulation, plaza areas or other public space created by the development.
 4. Large parcels capable of supporting multiple buildings shall maintain a building wall along at least 60% of the length of the primary street frontage.
 5. Single use multifamily structures shall provide a minimum 10' front setback of landscaped area.
- b. **Parking** shall be located to the rear of the principal building, with suitable landscaped islands and perimeter landscaped screening. It shall be in compliance with the minimum parking stall dimensions, vehicle maneuvering space, aisle width and driveway width dimensions (See Section 11-1). For corner buildings, parking access shall be located on the secondary street. To reduce curb cuts shared access driveways are encouraged. (See Figure 6-A)

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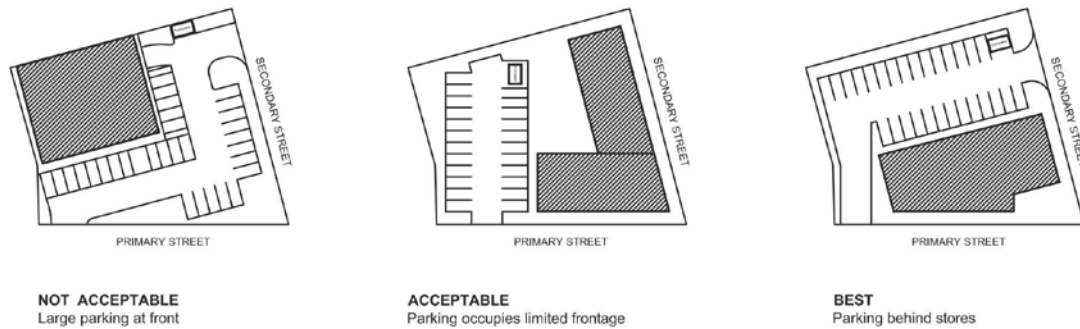


Figure 6-A BUILDING SITING AND PARKING LOCATION

- c. **Parking structures** shall be situated below grade, integrated into the principal building behind active uses or located to the rear of the principal building and suitably screened from sensitive pedestrian views and adjacent residential buildings, with all exposed exterior walls faced with finished materials such as brick or masonry. Parking structures abutting residential zones shall have all walls designed as facades, compatible with the residential context.
- d. **Lighting** shall be provided to ensure adequate and safe lighting of all pedestrian sidewalks, walkways and parking areas within the site and along the property frontage to the curb line. Lighting fixtures shall be appropriately shielded to prevent trespass lighting onto adjoining private property.
- e. **Trash receptacles and mechanical equipment** shall be located away from the street and suitably screened by means of solid fencing or landscaping, or a combination of both. Landscape screening is encouraged over solid fencing (See Sections 11-8-4 and 11-8-5).
- f. **Loading and Service Areas** are limited to secondary or tertiary streets. Primary street use is permitted only if there is no alternative street and cannot be accommodated in any other fashion.
- g. **Screening & Fencing:** Fencing along side or rear yards or within a lot may be wood, steel pickets or any other approved fence type. Chain link, barbed wire or razor wire fencing shall not be permitted. The use of dense landscaping instead of solid fencing is encouraged (See Sections 11-1-13 and 11-3).
- h. **Public Amenities** shall be provided if a front setback greater than 0' is selected. Such amenities include, but are not limited to, benches, trash receptacles, bike racks, artwork, planters, trees, and public charging stations.



Zoning regulations provided here are for informational purposes only. Please visit www.cityofbridgeport.com for more information. **Figure 6-B PUBLIC AMENITY SAMPLE IMAGES** are available on the City of Bridgeport website to view current zoning regulations.

- i. The use of mulch or rocks shall be limited to the perimeter of planting areas and around trees. The use of such materials to cover large portions of the landscaping area shall not be allowed.

6-1-5 Architectural Design:

The architectural design of new buildings, substantial reconstruction and/or renovation projects shall be coordinated and compatible with the architectural context of the site and character of the surrounding neighborhood. Design compatibility includes forms, size, complementary building style, colors and materials. Multiple buildings on the same site shall be designed to create a cohesive visual relationship between the buildings. Continuous building walls shall be enhanced by and broken up with architectural features.

The City welcomes innovative designs that will enhance the existing public realm and create landmark buildings.

- a. **Massing and Building articulation:** To improve the consistency of scale on the streets, new buildings should respond to the scale, proportion and placement of design features of buildings adjacent to them in order to fit within the urban fabric of the neighborhood. Such design features include cornice lines, colonnades, fenestration, and materials. Large building volumes shall be broken into a number of smaller components to reduce their perceived massing of the structure through building articulation and facades. On larger buildings, the rooflines of buildings can follow the variation in bay massing so as to appear as a series of side-by-side buildings or bays.
- b. **Wall materials:** Street facing ground floor wall treatment shall be of high quality, durable material such as brick, stone, granite, metal, wood, and glass. The use of lesser quality materials, such as, but not limited to, Masonite paneling, sheet tile, simulated brick, pegboard, vinyl and aluminum siding, external insulation and finish systems, and plastic laminate on upper building levels will be assessed on a case-by-case basis at the Design Review. Consideration shall be given to incorporate similar building materials that are complementary to the best building materials used on nearby structures. Changes from lower to upper levels shall occur along a horizontal line, with the visually-heavier material below the visually-lighter material. Materials applied to one façade shall be extended around building corners to a logical break in plane, so as to look substantial rather than “pasted-on.” Exterior material samples shall be submitted with the Design Review application.
- c. **Rooflines** shall be emphasized, for example, with gabled or other pitched roof forms, parapets, balustrades, and/or cornices. Buildings shall have varied roof lines and materials. Peaked, mansard and other sloping roof types are encouraged. Flat roofs shall be topped with cornices or decorative parapets.
- d. **Height** of new buildings shall be a minimum of 2 stories and encouraged to be in accord with the height of taller adjacent structures, especially where buildings will adjoin or be close to each other. Corresponding building height can often be achieved by adjusting the height of a wall, cornice or parapet line to match that of the adjacent building. Similar design linkages can be achieved to adjust apparent height by placing

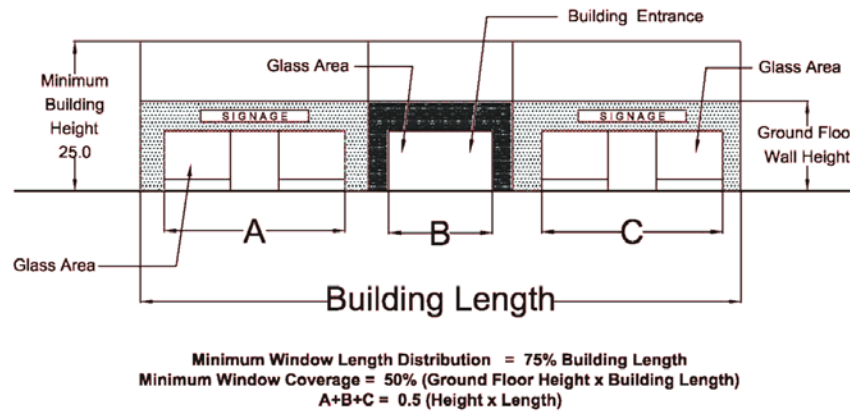
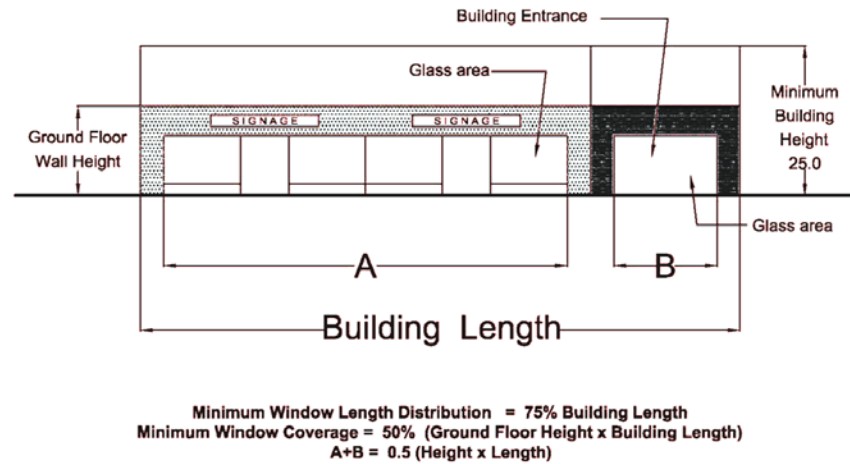
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window lines, belt courses, and other horizontal elements in a pattern that reflects the same elements on neighboring buildings. Green Roofs are encouraged.

1. A parapet wall constructed to meet the minimum building height shall be constructed along all building sides not meeting the minimum height. A parapet is not required along that portion of a building which is within three feet of a taller adjacent building but must be constructed to wrap around the corner a minimum of ten feet for visual continuity.
- e. **Building facades** shall be articulated by using color, arrangement, or change in materials to emphasize the façade elements. The planes of the exterior walls may be varied in height, depth or direction. Long building facades shall be broken up into lengths of thirty feet (30') to forty feet (40') with sufficient building articulation and architectural features such as reveals, piers and landscaping in limited instances, to avoid a monotonous or overpowering institutional appearance. Large scale retail stores with building frontages exceeding thirty feet (30') shall include architectural details and design elements to create the appearance of multiple storefronts. Where side elevations of buildings are prominently exposed to pedestrian view from public streets, architectural strategies shall be employed to provide articulation of the façade.
- f. **Street Level Design** shall serve to enliven the street and provide a continuous "border of interest" by maintaining storefronts and window displays close to the outermost edge of the building façade and by avoiding deep setbacks and dark alcoves. Storefront windows shall be kept as large as reasonably possible and glazing shall be of clear vision glass only. Tinted glass and reflective glass shall not be permitted. Where storefronts do not open to the street, building facades should be highly articulated with projections, recessions, windows, and other design elements to avoid blank, featureless areas.
- g. **Mixed Use Structures** shall provide at least 20% of the ground floor area of the building for commercial use. Such area shall be located along the primary street and shall meet the window requirements. If the proposed building is located on a corner property, the ground floor retail area shall be facing the primary street and continue to wrap around the corner. If both streets are commercial streets, the store front shall not only wrap around the corner but extend along the secondary street to provide continuity to the retail area.
- h. **Required Minimum Window Area Coverage, Commercial:** Exterior walls on the primary street frontages, ground level, must contain windows of two-way (non-mirrored) glass for a minimum of 75 percent of the building length (length x 0.75) with window coverage at 50 percent of street wall area [(length x height) x 0.5]. Side/Secondary street windows must contain a minimum of fifty (50%) percent of building length (length x 0.5) with window coverage at forty (40%) percent of street wall area [(length x height) x 0.4]. Ground floor windows shall have a minimum height of six feet (6') with a window sill of not more than two feet (2') above grade (See Figure 6-C).

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Figure 6-C WINDOW COVERAGE



1. **Qualifying Window Features:** Required window areas must be windows that allow views into retail stores, working areas or lobbies. Window areas may be used for merchandise display.
2. No use regulated in accordance with Table 6.6.1 shall be conducted in any manner that permits the observation of any material depicting, describing, or relating to specified sexual activities or specified anatomical areas, from any public way or from property not used as an adult entertainment facility. This shall include any display, decoration, sign, show window, or other opening.
 - i. **Window Requirements, Multifamily structures** shall be residentially-scaled double-hung, casement or other multi-paned styles. Fixed glass windows shall not be used for residential units.
 - j. **Rooftop mechanical equipment** shall be integrated into the design of the building and set back at least 15 feet from all roof edges parallel to street lot lines, and must be effectively screened from view from street level.

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- k. External roll down shutters shall not be permitted in OR and OR-G zones. Any necessary **security grills** shall be located inside the shop windows, and shall not be solid. Preferred security systems are glass shock or breaker sensors, or electronic alarms. Barbed wire and razor wire are prohibited.

Section 6-2 Office/Retail Zone (OR)

- 6-2-1 Purpose:** The purpose of the Office/Retail (OR) Zone is to comply with the adopted Comprehensive Plan's recommendation for a zone to allow a mix of commercial, office, retail, and residential uses within the zone and within individual structures in areas that are served by arterial roads and are developed or are in the process of developing a commercial character, and where the local streets are predominantly residential. The Office/Retail (OR) zone is also intended to preserve and enhance established commercial areas in or near residential neighborhoods so that nearby residents can make use of small-scale retail and service uses. New development shall be compatible with a street-side, storefront character. The zone allows a wide range of retail, service and business uses with a local market, but restricts such uses in size to promote a local orientation and to limit adverse impacts on nearby residential areas. Development is intended to be pedestrian-oriented, with buildings close to and oriented towards the sidewalk (especially at corners), and compatible with the scale of surrounding residential areas. Parking areas are strictly regulated in order to promote compatibility with the character of surrounding residential development and the intended pedestrian orientation of the uses.

Section 6-3 Office/Retail General Zone (OR-G)

- 6-3-1 Purpose:** The purpose of the Office/Retail General (OR-G) Zone is to comply with the adopted Comprehensive Plan's recommendation for a zone to allow a mix of predominantly auto-accommodating commercial, office, and retail development and residential uses within the zone and within individual structures, in areas already predominantly developed for this use. The zone allows a full range of retail and service businesses with a large local or city-wide market. Development is expected to be generally auto-accommodating, with access from major traffic ways. The zone's development standards are intended to promote an open and pleasant street appearance; development that is aesthetically pleasing for motorists, pedestrians and the businesses themselves; and compatibility with adjacent residential areas.

Section 6-4 Office/Retail Regional Zone (OR-R)

- 6-4-1 Purpose:** The purpose of the Office/Retail Regional (OR-R) Zone is to comply with the adopted Comprehensive Plan's recommendation for a zone to allow a mix of commercial, office, retail, and residential uses within the zone and within individual structures, where the scale of the non-residential uses attracts clientele from outside the city and produces significant automobile traffic. Such uses include office parks, major shopping centers, sports facilities, and theater and entertainment complexes. Industrial uses are limited to avoid adverse effects different in kind or amount from office/retail uses and to ensure that they do not dominate the character of the commercial area. Development standards are intended to promote compatibility with adjacent uses and neighborhoods.

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6-4-2 Additional Standards: The following standard (s) applies in the Office/Retail Regional zone:

a. **Building Siting:**

1. New development must be compatible with a street-side, storefront character. Buildings shall be pedestrian-oriented and aligned to the sidewalk.
2. Minimum 70% of the building length must meet the front setback line, except for special entry features, architectural articulation, plaza areas or any other public space existing or created by the development.
3. Buildings along multiple streets must meet the front setback line along all streets to a minimum of 70% of building length. Angled building corners or open plazas are encouraged.
 - a. If the property has more than one street frontage the building must front the primary street or streets.
 - b. Regulations related to required percentage of window coverage and qualifying window features apply to commercial uses on all sides facing the street.

b. **Ground Floor Windows:**

1. **Required Amounts of Window Area:** Exterior walls on the primary street frontages, ground level, must contain windows of two-way (non-mirrored) glass for a minimum of 75 percent of the building length (length x 0.75) with window coverage at 50 percent of street wall area [(length x height) x 0.5]. Side/Secondary street windows must contain a minimum of 40 percent of building length (length x 0.4) with window coverage at 30 percent of street wall area [(length x height) x 0.3].
2. **Qualifying Window Features:** Required window areas must be either windows that allow views into retail stores, working areas or lobbies. Up to 50 percent of required window areas may be used for merchandise display, except no display shall be permitted in a use regulated in accordance with Table 6.6.1.
3. No use regulated in accordance with Table 6.6.1 shall be conducted in any manner that permits the observation of any material depicting, describing, or relating to specified sexual activities or specified anatomical areas, from any public way or from property not used as an adult entertainment facility. This shall include any display, decoration, sign, show window, or other opening.

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USE SCHEDULE - NON-RESIDENTIAL ZONES
TABLE 2.A

NOTE: For each listed use, refer also to Table 5 and Table 6, Use Classifications.

PRINCIPAL PERMITTED and SPECIAL PERMIT USES	ZONES									
	OR	OR-G	OR-R	I-H	I-L	MU-EM	MU-W	MU-LI	ZP	PDD
OFFICE										
Up to 5,000 sf	P	P	P (1)	P	P	P	P	P	N	P
5,001 to 10,000 sf	P	P	P (1)	SP	SP	SP	P	P	N	P
10,001 to 20,000 sf	SP	P	P (1)	N	SP	SP	P	P	N	P
NOTE: Office use that is accessory to other principal uses on site is not subject to the square footage limits above.										
COMMERCIAL AND RETAIL										
Adult entertainment	N	P (6)	N	P (6)	P (6)	N	N	P (6)	N	N
Commercial parking	SP	SP	SP	N	N	P	P	SP	N	N
Entertainment, recreation trade	SP	SP	SP	SP	SP	SP	P	SP	N	P
Restaurant	SP	SP	SP	SP	SP	SP	P	SP	N	P
Entertainment Live	SP	SP	SP	SP	SP	SP	P	SP	N	P
Major entertainment facility	N	SP	SP	SP	SP	N	N	N	N	N
Marine Craft and Marinas	N	N	N (2)	P	P	N	P	P	N	P
Membership club	P	P	P	P	P	P	P	P	N	P
Outdoor recreation, commercial	N	P	P	N	SP	N	SP	N	N	P
Radio and TV broadcast facility	N	N	SP	N	N	N	SP	P	N	N
Retail trade:										
General sales & services, non-automotive:										
Up to 10,000 sf	P	P	P	SP	SP	SP	P	P	N	P
10,001 sf and above	SP	SP	SP	SP	SP	SP	P	P	N	P
Automotive sales and service	N	SP	SP	P	P	N	N	P	N	N
Marine craft: sales, leasing, service, upland storage	N	N	SP	P	P	N	SP	P	N	P
Short-term lodging	N	SP	SP	N	N	SP	P	SP	N	N
Vehicle repair facility	N	SP	SP	P	P	N	N	SP	N	N
Vehicle service facility	N	SP	SP	P	P	N	N	P	N	P
Wholesale trade	N	SP	P	P	P	N	N	P	N	N
INSTITUTIONAL, PUBLIC AND QUASI-PUBLIC										
College and university	N	SP	SP	N	N	P	N	N	N	N
Communication facility or use	N	N	N	P	P	N	N	P	N	P
Community facility	P	P	P	N	N	P	P	N	N	P
Day care center	P	P	P	N	N	P	P	SP	N	N
Detention facility	N	N	SP	P	SP	N	N	N	N	N
Medical center	N	SP	SP	N	N	P	N	N	N	N
Museum	N	N	N	N	N	N	SP	P	P	P
Park and open area	P	P	P	N	N	P	P	P	P	N
Passenger terminal	N	N	SP	SP	SP	N	SP	P (7)	N	N
Public facility and service, government-owned	P	P	P	N	N	N	P	P	N	N
Public safety and emergency service	P	P	P	P	P	P	P	P	N	P
Rail line and utility corridor	SP	P	P	N	N	P	N	P	N	N
Railroad yard	N	N	N	N	N	N	N	N	N	N
Religious institution; house of worship	SP	P	P	N	N	P	N	SP	N	N
School	P	P	P	N	N	P	N	N	N	N
Social service provider	SP	SP	SP	N	N	SP	N	SP	N	N
Transportation	N	N	N	P	P	N	N	N	N	P
Utility services	P	P	P	P	P	P	SP	P	N	N

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USE SCHEDULE - NON-RESIDENTIAL ZONES (continued)
TABLE 2.A

NOTE:

For each listed use, refer also to Table 5 and Table 6, Use Classifications.
For I-H and I-L zones, industrial uses are further specified as high or low impact.
See Table 6.3.7, Industrial Use Classification: High Impact and Low Impact Uses.

PRINCIPAL PERMITTED and SPECIAL PERMIT USES	ZONES									
	OR	OR-G	OR-R	I-H	I-L	MU-EM	MU-W	MU-LI	ZP	PDD
INDUSTRIAL										
Agriculture/Farming	SP	SP	SP	P	P	SP	SP	P	SP	N
Industry	N	N	N	N	N	N	N (3)	N	N	P
Industrial service	N	N	N	P	SP	N	N	P	N	N
Manufacturing/Processing										
High impact	N	N	N	SP	SP	N	N	N	N	N
Low impact	N	N	N	SP	SP	N	N	P	N	N
Resource production/extraction										
High impact	N	N	N	SP	N	N	N	N	N	N
Low impact	N	N	N	SP	SP	N	N	N	N	N
Warehousing/freight storage										
High impact	N	N	N	P	SP	N	N	P	N	N
Low impact	N	N	N	P	SP	N	N	P	N	N
Waste-processing and transfer										
High impact	N	N	N	N	N	N	N	N	N	N
Low impact	N	N	N	SP	SP	N	N	N	N	N
Use with heavy trucks or equipment	N	N	SP (4)	N	N	N	N	N	N	N
RESIDENTIAL										
Group living	SP	SP	SP	N	N	SP	N	N	N	n.a.
Household living	P (5, 8)	P (5, 8)	P (5, 8)	N	N	P	P	SP(5)	N	P
ACCESSORY										
Customary accessory uses	A	A	A	A	A	A	A	A	A	A
Food service establishment for staff	A	A	A	A	A	A	A	A	A	A

NOTES:

- 1 Retail shall be required on the ground floor of all primary frontages, not to the exclusion of lobbies and entrances.
- 2 If property abuts waterfront, a marina may be allowed by special permit.
- 3 Water-dependent uses shall be allowed, along with their upland support (such as restrooms, parking, and marine retail.)
- 4 Heavy truck or equipment use requires a special permit.
- 5 One- and two-family structures are not allowed. Upper floor residential units and multi-family structures are allowed.
- 6 Subject to Site Plan Review.
- 7 Only permitted on a property with direct water front access within and along Bridgeport Harbor. The Site Plan for any such facility shall include a suitable location for public or private water taxi service and reasonable public access.
- 8 Subject to 4-10-2

KEY: P Principal permitted use N Use is prohibited SP Special Permit Use A Accessory

Zoning regulations provided herein are subject to change without notice. Please visit the City of Bridgeport website to view current zoning regulations.

ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES									
TABLE 4.A									
DEVELOPMENT STANDARDS	OR	OR-G	OR-R	I-H	I-L	MU-EM	MU-W	MU-LI	ZP
LOT									
Lot area, minimum	5,000 sf	10,000 sf	10,000 sf	n.a.	n.a.	5,000 sf	10 acres	n.a.	40 acres
Frontage, minimum	35 ft	60 ft	60 ft	none	25 ft	60 ft	200 ft	35 ft	n.a.
Floor area ratio, maximum	0.75	1.0	2.0	n.a.	n.a.	1.0 (Note 11)	n.a.	n.a.	n.a.
Principal building size, maximum	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	50,000 sf
PRINCIPAL BUILDING SETBACK									
Front lot line, minimum from	10 ft	10 ft	10 ft	n.a.	n.a.	n.a.	15 ft	n.a.	n.a.
Street lot line, minimum from	10 ft	10 ft	n.a.	5 ft	15 ft	0	n.a.	0 ft or prevailing setback	50 ft
Maximum setback	n.a.	30 ft (1)	n.a.	n.a.	n.a.	10 ft	n.a.	10 ft or prevailing setback	n.a.
Side lot line, minimum from	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.
Rear lot line, minimum from	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	20% of lot depth	n.a.	n.a.
Not to exceed	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	20 ft	n.a.	n.a.
Minimum setback from:									
Other heavy industrial use	n.a.	n.a.	n.a.	10 ft	10 ft	n.a.	n.a.	n.a.	n.a.
Other use	n.a.	n.a.	n.a.	0	0	n.a.	n.a.	n.a.	n.a.
From lot line abutting an R-zoned lot		10 ft	10 ft	15 ft	15 ft	n.a.	n.a.	n.a.	n.a.
Side	10 ft	n.a.	n.a.	n.a.	n.a.	10 ft	n.a.	10 ft	50 ft
Rear	15 ft	n.a.	n.a.	n.a.	n.a.	15 ft	n.a.	15 ft	50 ft
From lot line abutting an MU, OR or I-zoned lot	0	0	0	0	0	0	n.a.	n.a.	n.a.
Corner lot yards	Note 2	Note 2	Note 2	Note 2	Note 2	Note 2	Note 2	Note 2	n.a.
Mean high water, minimum from	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	30 ft (3)	Note 3	n.a.
ACCESSORY STRUCTURE SETBACK									
Setbacks	Note 9	Note 9	Note 9	Note 9	Note 9	Note 9	Note 9	Note 9	Note 9
COVERAGE									
Building coverage, maximum	65%	50%	50%	100%	85%	50%	70%	65%	65%
Site coverage, maximum	85%	85%	85%	None	85%	85%	85%	85%	85%
LANDSCAPED AREA									
Minimum	15%	15%	15%	None	15%	15%	15%	15%	15%
In setbacks abutting an R-zoned lot, minimum	5 ft deep at L3 (4)	5 ft deep at L3 (4)	5 ft deep at L3 (4)	10 ft deep at lot line at L4 (4)	10 ft deep at L4	5 ft deep at L3 (4)	5 ft deep at L3 (4)	10 ft deep at L4 (4)	50 ft deep at L3 (4)
HEIGHT									
Principal Building									
Maximum for principal building	35 ft	35 ft	45 ft	75 ft	75 ft	45 ft	50 stories or 500 ft	35 ft (Note 12)	3 stories or 35 ft (6)
Projections and features	Note 5	Note 5	Note 5	Note 5	Note 5	Note 5	Note 5	Note 5	Note 5
Accessory Structure									
Height, maximum	Note 7	Note 7	Note 7	Note 7	Note 7	Note 7	Note 7	Note 7	Note 7
Floor area, gross maximum	Note 8	Note 8	Note 8	Note 8	Note 8	Note 8	Note 8	Note 8	Note 8
PUBLIC ACCESS EASEMENT									
	Note 10	Note 10	Note 10	Note 10	Note 10	Note 10	Note 10	Note 10	Note 10

NOTES:

- 1 No maximum building setback from a street lot line shall be required for any parcel of land bounded on three or more sides by city streets and owned by a city or government agency.
- 2 On a corner lot in any zone, there shall be two front yards and two side yards.
- 3 The minimum setback from mean high water shall be thirty (30) feet except for buildings supporting water-dependent uses that may require location immediately adjacent to the water.
- 4 See Section 11-3, Landscaping and Screening.
- 5 See Section 4-4, Height.
- 6 Buildings proposed for more than three (3) stories shall require a special permit.
- 7 Any accessory structure with a flat or rounded roof shall be no higher at its highest point than twelve (12) feet and any accessory structure with a pitched roof shall be no higher than fifteen (15) feet, measured from the average level of the ground along all walls of the structure. In I-H and I-L zones, the maximum height for any accessory structure shall not exceed one-third (1/3) of the maximum height for principal structures in that zone.
- 8 See Section 4-9, Accessory Structures.
- 9 Setbacks for accessory structures shall be the same as setbacks for principal structures.
- 10 A public access easement may be required on any non-residential property abutting a waterway. In such a case, a dedicated open space area shall be established from the top of the embankment and for twenty (20) feet inland.
- 11 Parking garages shall be exempt from the Floor Area Ratio (FAR) requirement and shall not be included in the calculation of the Gross Floor Area in the MU-EM Zone
- 12 Maximum height for a passenger terminal shall be 60 Ft.

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