2300 MAIN

2300 MAIN STREET, KANSAS CITY, MISSOURI 64108



OFFICE FOR LEASE | 22,239± CONTIGUOUS RSF AVAILABLE



PROPERTY FEATURES

- Surface and underground parking available
- On-site building management
- On-site security, 24 hours-7 days/week with card access
- Located adjacent to Union Station, Crown Center, and the new RideKC Streetcar
- State-of-the-art conference facility accommodating 150+ individuals
- Workout facility including showers, lockers, and changing area
- On-site deli and catering

BUILDING FEATURES	
RENTABLE BUILDING AREA	513,998 RSF
BASE RENTAL RATE	\$20.00 PRSF
LEASE TYPE	Full Service Gross



For more information, please contact:

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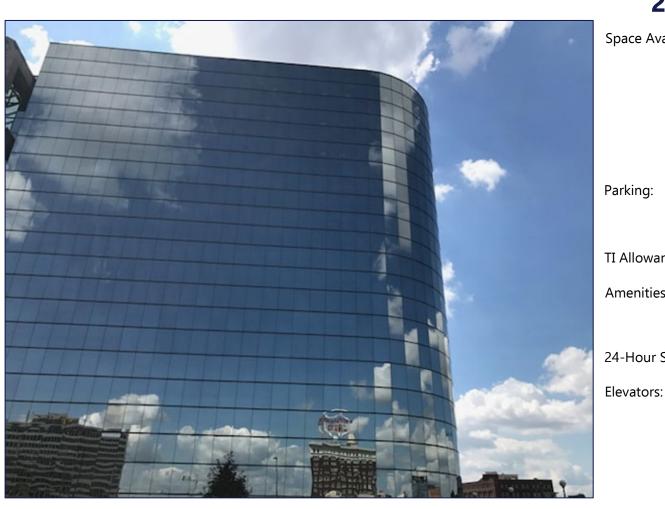
2300 Main

2300 MAIN STREET | KANSAS CITY, MISSOURI

Office for Lease | 22,239± Contiguous RSF Available



2300 Main Facts



Space Availability:	Suite 165	2,241 RSF		
	Suite 400	15,013 RSF		
	Suite 850	12,632 RSF		
	Suite 905	8,157 RSF	٦	22,239 RSF
	Suite 910	14,082 RSF	\int	Contiguous
	Suite 915	4,525 RSF		3
	Suite 1075	2,262 RSF		

Garage (1,700 spaces)

Parking: 3.5/1,000 Ratio with reserved, unreserved,

surface lot and hourly rates

Negotiable

TI Allowance:

Fitness room, showers, lockers & equipment

Conference facility accommodates 150+ Amenities:

On-site Management and Deli

Card access for all employees

24-Hour Security:

Four (4) parking garage elevators

Eight (8) floor-to-floor elevators One (1) freight dock elevator



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