

2300 MAIN

2300 MAIN STREET, KANSAS CITY, MISSOURI 64108



OFFICE FOR LEASE | 22,239± CONTIGUOUS RSF AVAILABLE



PROPERTY FEATURES

- Surface and underground parking available
- On-site building management
- On-site security, 24 hours-7 days/week with card access
- Located adjacent to Union Station, Crown Center, and the new RideKC Streetcar
- State-of-the-art conference facility accommodating 150+ individuals
- Workout facility including showers, lockers, and changing area
- On-site deli and catering

BUILDING FEATURES

RENTABLE BUILDING AREA	513,998 RSF
BASE RENTAL RATE	\$20.00 PRSF
LEASE TYPE	Full Service Gross



For more information, please contact:

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2300 Main

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Office for Lease | 22,239± Contiguous RSF Available



2300 Main Facts

Space Availability:	Suite 165	2,241 RSF	} 22,239 RSF Contiguous
	Suite 400	15,013 RSF	
	Suite 850	12,632 RSF	
	Suite 905	8,157 RSF	
	Suite 910	14,082 RSF	
	Suite 915	4,525 RSF	
	Suite 1075	2,262 RSF	

Parking: Garage (1,700 spaces)
3.5/1,000 Ratio with reserved, unreserved,
surface lot and hourly rates

TI Allowance: Negotiable

Amenities: Fitness room, showers, lockers & equipment
Conference facility accommodates 150+
On-site Management and Deli

24-Hour Security: Card access for all employees

Elevators: Four (4) parking garage elevators
Eight (8) floor-to-floor elevators
One (1) freight dock elevator



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