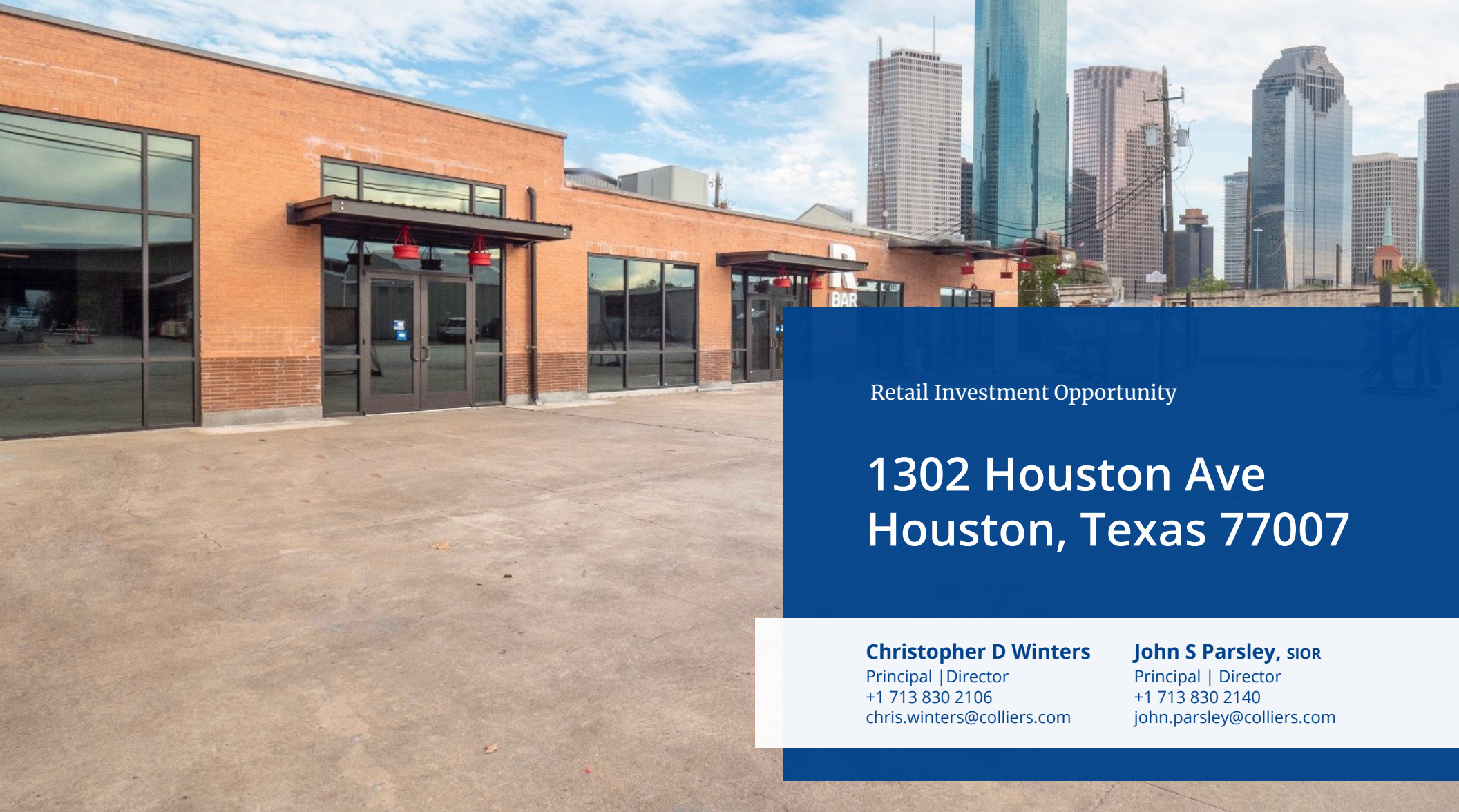




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Retail Investment Opportunity

**1302 Houston Ave
Houston, Texas 77007**

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John S Parsley, SIOR

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Investment Highlights

Property	Retail Center
Property Address	1302 Houston Ave, Houston, TX 77007
Offering Price	\$6,150,000
Price Per Square Foot	\$381
Cap Rate	5.2%
Operating Income 2021	\$321,781
Building Size	14,068 SF
Construction Year	1960
Refurbished	2008
Lot Size	.807 Acres
Tenancy	Multiple Retail Spaces
Occupancy	90%
No. of Parking Spaces	40

Tenant Name	Suite	Tenant Size (SF)	Expiration Date
R Bar	100	1,957	10/23
Republic Aerial Yoga	600	1,510	3/24
Houston Fitness Factory	700	2,667	10/26
Institute of Contemporary Dance	300	6,511	3/25
Available	200	1,423	
Total		14,068	



Tenant Descriptions

Institute of Contemporary Dance

Public/Private: Private
No. of Locations: 1

Their mission is to ignite passion for contemporary dance by providing superior quality dance education, world-class concert performances, and community building and outreach that is wholly inclusive and accessible to all.

www.icdhouston.com

RBar

Public/Private: Private
No. of Locations: 1

RBar is a local sports bar with ten big screen tvs, full bar, 20 beers on tap with more in their beer cooler, frozen options, and a friendly staff.

Featuring the NFL Sunday Ticket, NHL Center Ice, every Astros and Rockets game and more.

www.rbarhouston.com

Republic Aerial Yoga

Public/Private: Private
No. of Locations: 1

Houston's Premier Aerial & Beginner Yoga Studio, Republic Aerial Yoga is a community oriented fitness studio offering a boutique style experience with a variety of Aerial Fitness, Pilates and Yoga.

www.republicaerialyoga.com

Houston Fitness Factory dba F45

Public/Private: Public
No. of Locations: 480 and expanding

A global fitness community offering team training; innovative, high-intensity group workouts that are fast, fun and results-driven.

www.f45training.com

Demographics

	1 Mile	3 Miles	5 Miles
Estimated Population (2020)	14,544	194,110	428,088
Projected Population (2025)	15,519	206,676	458,814
Estimated Households (2020)	7,286	88,489	185,908
Projected Households (2025)	7,889	96,048	202,791
Estimated Average Household Income (2020)	\$123,241	\$131,606	\$123,278
Estimated Average Household Income (2025)	\$133,826	\$145,446	\$135,166
Total Annual Retail Expenditure (2020)	\$273.58M	\$3.52B	\$7.03B



Area Highlights

The subject property is located in the heart of the Washington Avenue Arts District. This area encompasses parts of the First and Sixth Historic Wards of Houston. The area offers something for everyone and has become a thriving community of artists, retail shops, restaurants, and many outdoor activities utilizing the nearby parks, bike and running trails. Residential growth has been strong with many homes being kept historic and fit nicely along elegant townhomes and taller single family style houses. Multi-family growth has also brought many of Houston's younger crowd back to this area and closer to their jobs in the downtown and midtown areas.

This location provides excellent access to other in town areas such as Rice Military, Downtown, and The Heights.



Property Photos



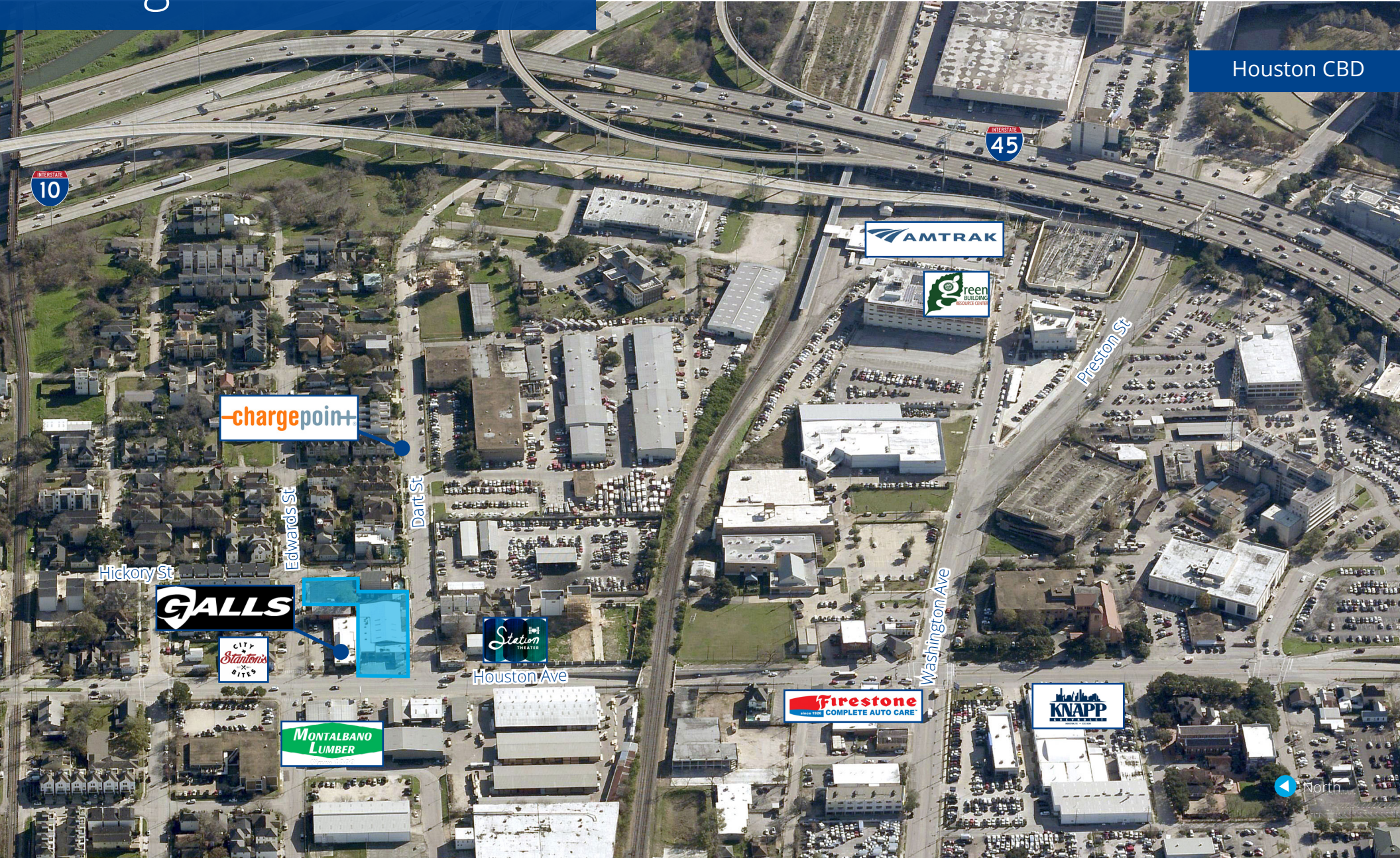


TRUEGRID Parking Pavers



Neighborhood Aerial

Houston CBD

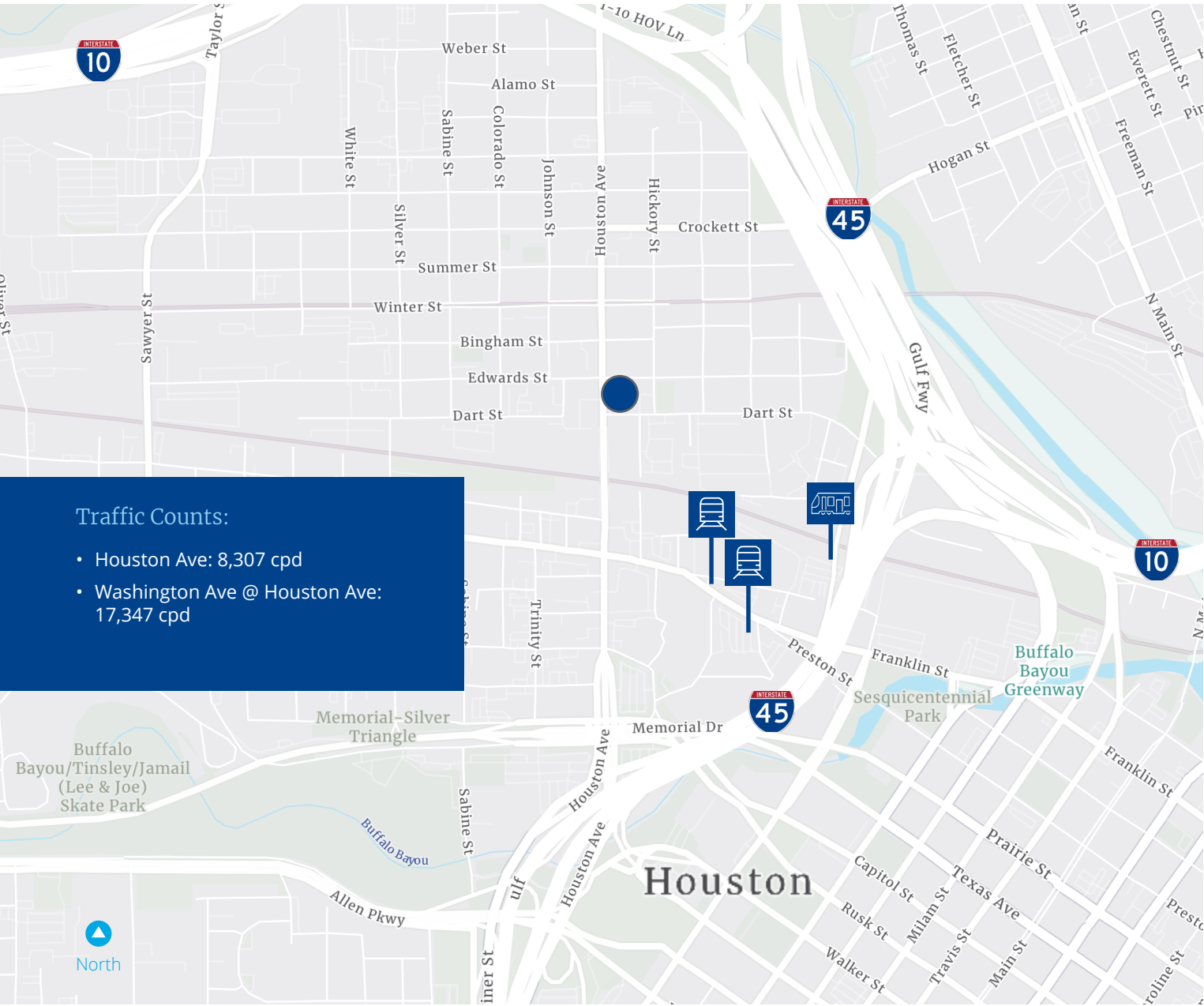


Community Aerial

Houston CBD



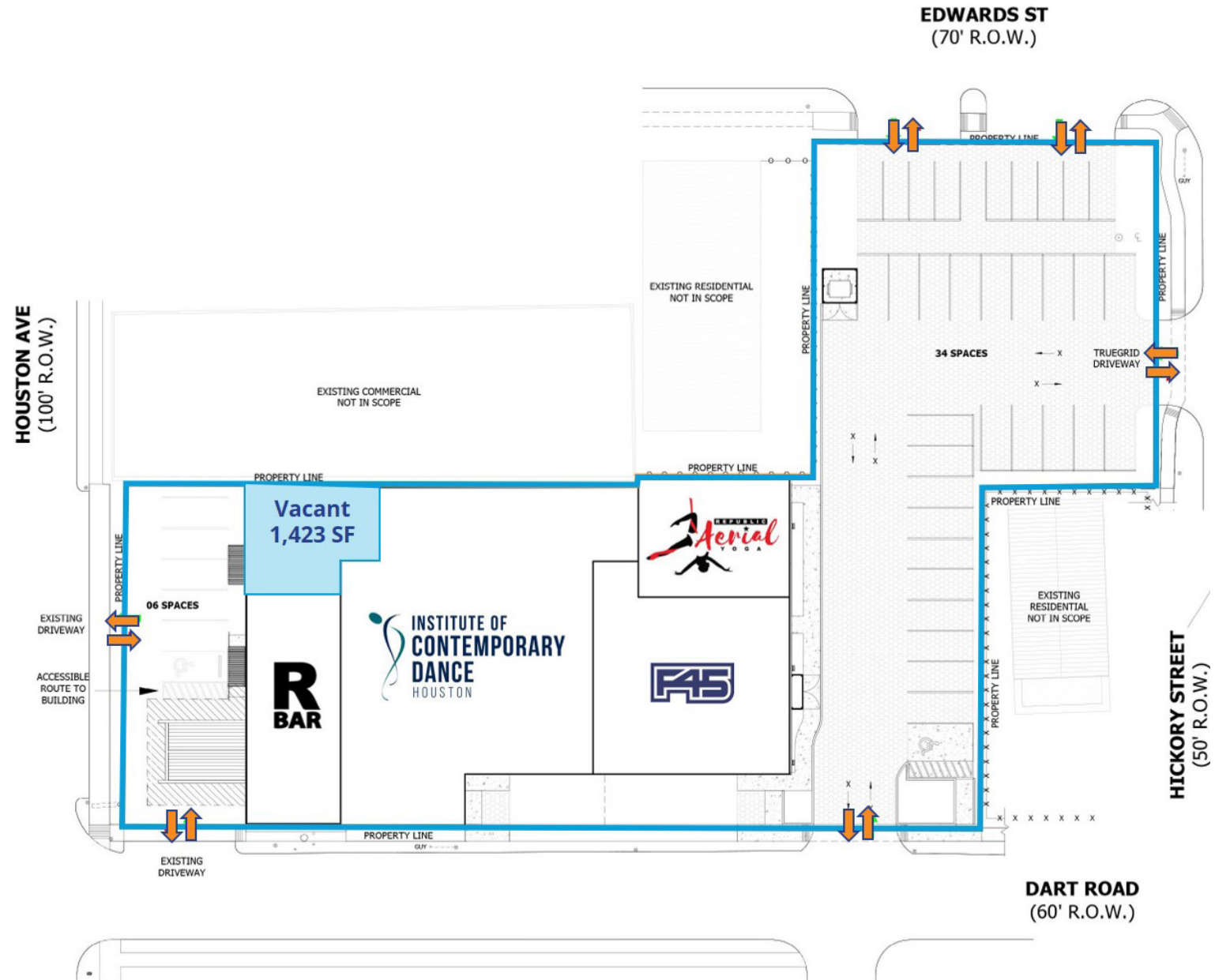
Area Map



Site Plan

Details:

- Multiple points of ingress and egress
- Access from Houston Ave, Dart Road, Hickory Street and Edwards Street
- Off-street surface parking
- 40 parking spaces



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Information About Brokerage Services

11-2-2015

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

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Date