



**COLDWELL  
BANKER  
COMMERCIAL**

**RELIABLE REAL ESTATE**

**FOR LEASE**

## **30 EAST BROADWAY**

\$37.00 - 73.00 SF/yr (MG)

30 East Broadway  
New York, NY 10002

AVAILABLE SPACE  
1,650 - 6,800 SF

### FEATURES

- Approximately 6,800 SF of commercial space
- Will subdivide
- Elevator building
- Conveniently located in Manhattan and minutes away from Brooklyn
- Landlord will consider assisting with build-out
- Located near the East Broadway F train station, Brooklyn Bridge-City Hall 4, 5, and 6 train station, Chambers Street and Canal Street J and Z train stations, and Canal Street N, Q, R, and W train station.

### AREA

Manhattan's Chinatown is a neighborhood in Lower Manhattan, New York City, bordering the Lower East Side to its east, Little Italy to its north, Civic Center to its south, and Tribeca to its west



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### OFFICE

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**COLDWELL BANKER COMMERCIAL**  
**RELIABLE REAL ESTATE**  
7428 5th Avenue, Brooklyn, NY 11209  
718.921.3100



# 30 EAST BROADWAY

30 East Broadway, New York, NY 10002

LEASE



## OFFERING SUMMARY

Available SF:	1,650 - 1,750 SF
Lease Rate:	\$37.00 - 73.00 SF/yr (MG)
Lot Size:	1,758 SF
Building Size:	10,563 SF
Zoning:	C6-1G
Market:	New York
Submarket:	Chinatown

## PROPERTY OVERVIEW

Coldwell Banker Reliable Real Estate Commercial Division is pleased to present for lease approximately 1,750 SF of ground floor retail space plus a full lower level space and approximately 5,050 SF of upper floor professional office space at 30 East Broadway, New York, NY 10002. The building is centrally located in Chinatown, within walking distance to City Hall and the state and federal courthouses, as well as the Lower East Side, plus multiple public transportation stations. Numerous anchor tenants as well as longtime neighborhood fixtures in Chinatown surround the building and include Wellcare, United Healthcare, HSBC and Citibank, as well as Golden Unicorn and Nom Wah. The elevator building was formerly a bank building and is in renovated condition. Suitable uses include but are not limited to professional, medical, or creative office, and retail showroom. The landlord will consider assisting with build-out.

## PROPERTY HIGHLIGHTS

- Approximately 6,800 SF of commercial space
- Will subdivide
- Elevator building
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- Located near the East Broadway F train station, Brooklyn Bridge-City Hall 4, 5, and 6 train station, Chambers Street and Canal Street J and Z train stations, and Canal Street N, Q, R, and W train station.

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### LEASE INFORMATION

Lease Type:	MG	Lease Term:	Negotiable
Total Space:	1,650 - 1,750 SF	Lease Rate:	\$37.00 - \$73.00 SF/yr

### AVAILABLE SPACES

SUITE	TENANT	SIZE (SF)	LEASE TYPE	LEASE RATE	DESCRIPTION
Ground Floor Retail Plus 1,750 SF Lower Level	Available	1,750 SF	Modified Gross	\$73.00 SF/yr	Retail/Professional Space
2nd Floor	Available	1,750 SF	Modified Gross	\$37.00 SF/yr	Professional Space
4th Floor	Available	1,650 SF	Modified Gross	\$37.00 SF/yr	Professional Space
5th Floor	Available	1,650 SF	Modified Gross	\$37.00 SF/yr	Professional Space

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# 30 EAST BROADWAY Manhattan, NY

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Go to: <https://3dsquarefoot.com/30-E-Broadway-New-York/mLXRJw> OR

**Point Your iPhone Camera  
and Walk Around in 3D**



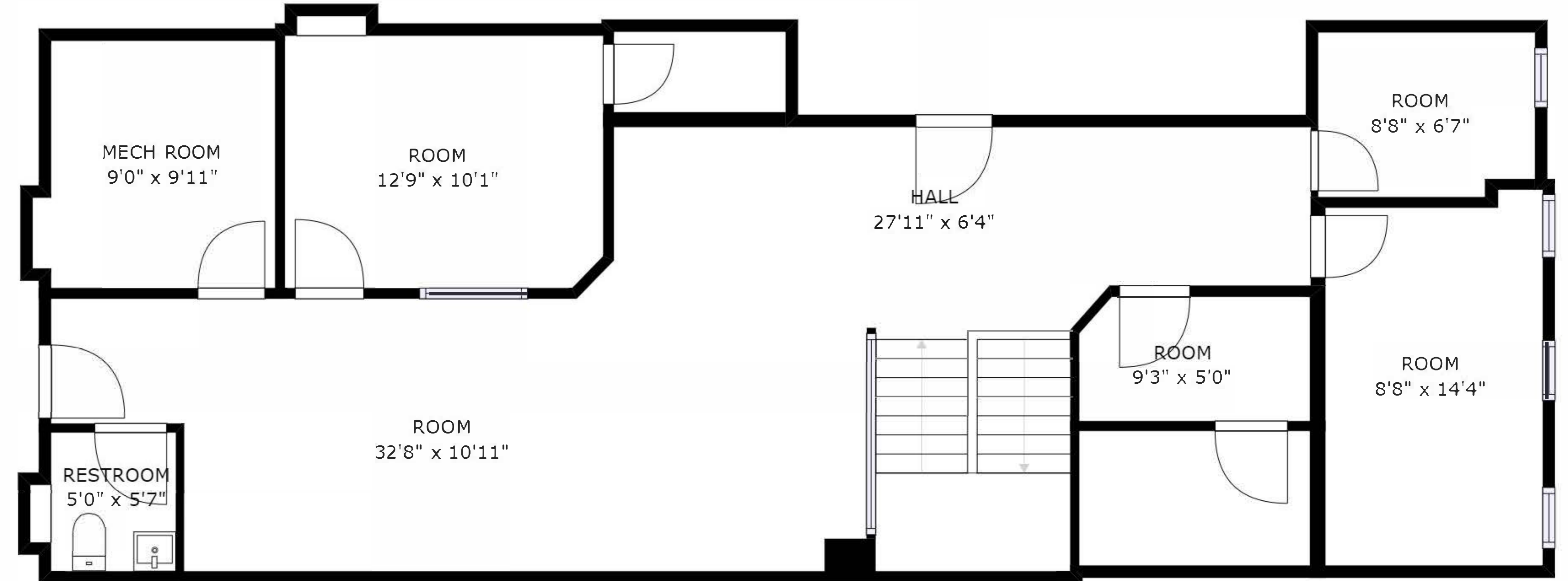
*A link will pop up for you to click.  
For Android Phone, download a QR Reader.*



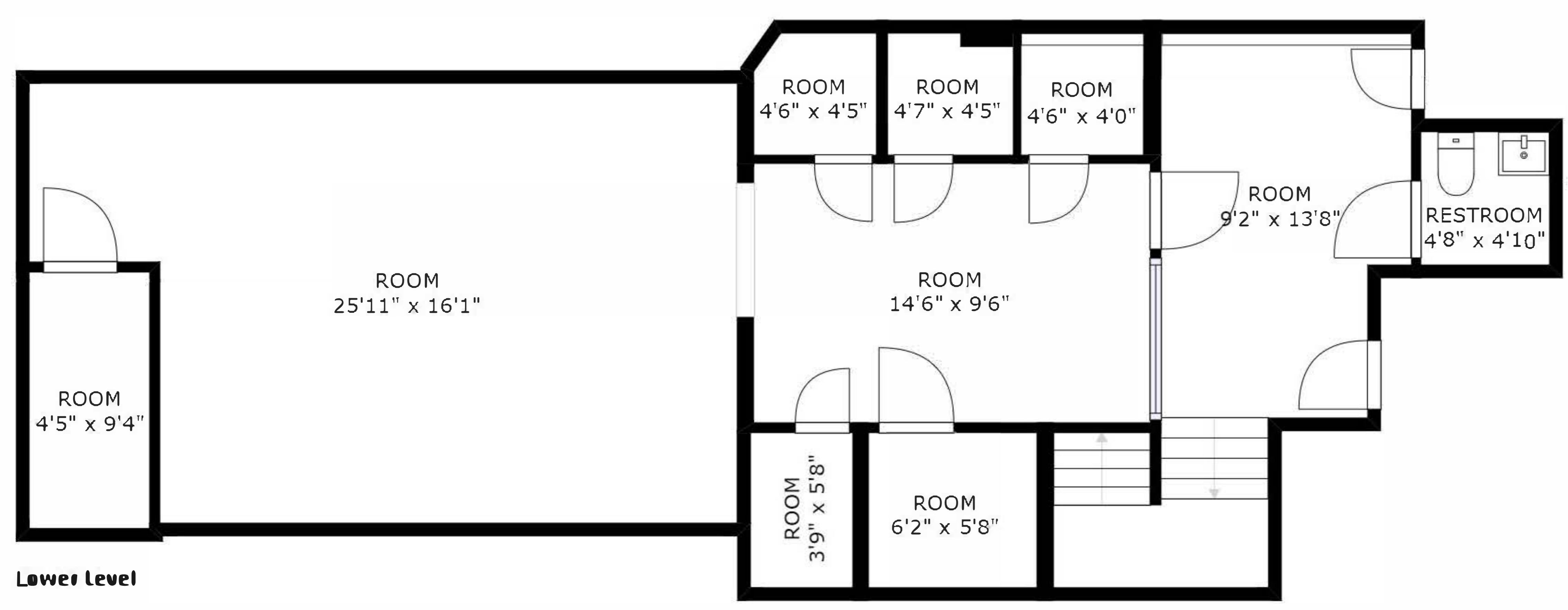
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An NYC Real Estate Company





2nd Floor



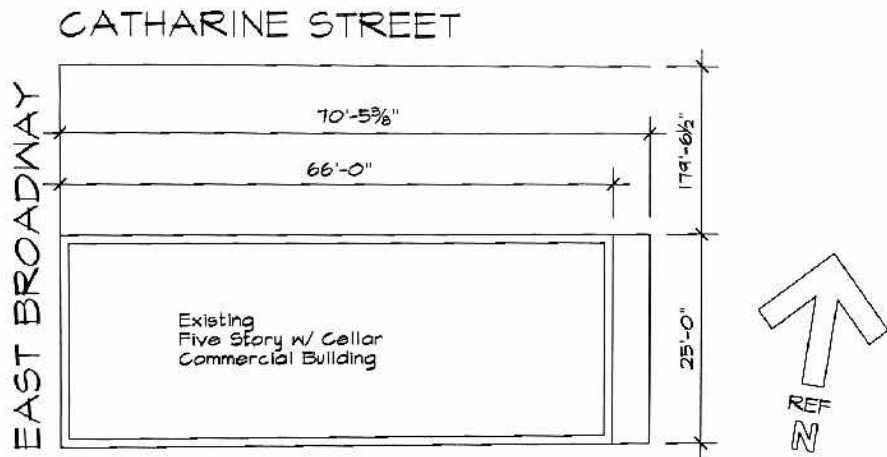
Lower Level



Ground Floor

PREMISES: 30 East Broadway, New York, N.Y.  
 BLOCK: 281  
 LOT: 13  
 ZONING: C6-16  
 MAP: 12D

PLOT DIAGRAM: Scale: Not to scale.



LEGEND:

- Existing partition.
- ▨ New partition (one hour fire rated).
- ▩ New Partition (two hour fire rated).
- ▧ New masonry exterior wall.
- ⊙ Smoke detector.
- ⊞ Exit sign.

GENERAL NOTES:

1. All work shall conform to the requirement of The New York City Building Code.
2. Contractor to check and verify all conditions and dimensions at the site before start the work.
3. Contractor to secure all permits before the start of work.
4. Contractor shall not scale drawings to obtain dimensions. If there is a discrepancy on or lack of dimensions, The Architect shall be notified and the information will be provide.
5. Architect and Engineer has not been retained for filed supervision or inspection.
6. All materials, assemblies, forms and methods of construction and service equipment shall meet the following requirements:
  - a. It shall have accepted prior to the effective date and code.
  - b. It shall have been accepted for use under the prescribed code test method by the commissioner.

ZONING CALCULATION:

Lot Area: = See site plan and survey  
 = 25' x 70.42'  
 = 1,760.5sf.

FLOOR AREA REGULATION:  
 For Commercial: (C6-16) = 1,760.5sf. x 6 = 10,563sf. Z.R. 23-141b.  
 Existing Floor Area: = (25' x 66') x 5fls. = 8,250sf.  
 Total Floor Area for Res.: = 3,333sf. ≤ 3,333sf. O.K.

Max. Lot Coverage Permitted: = 55% Z.R. 23-141b  
 = 2,020sf. x 0.55 = 1,111sf.

Existing Lot Coverage: = (20.2' x 57.25') - 46sf. = 1,111sf. ≤ 1,111sf. O.K.

YARD REGULATION:

Front Yard Existing: = 18' Z.R. 34-241.  
 = 10' Existing (NO CHANGE). Z.R. 34-242.  
 Side Yard Existing: = 0' O.K.  
 Rear Yard Existing: = 30' Z.R. 23-47  
 = 32'-9" O.K.

DENSITY REGULATION:

Max. No. of D.U. permitted: = 3,333sf. / 760sf. = 4.39 Units. Z.R. 23-22  
 = 4 Units.  
 Proposed No. of D.U.: = 3 Units ≤ 4 Units. O.K.

OFF STREET PARKING AND LOADING REGULATION:

No. of Parking Required: = Existing garage. (C.O. No. 43457)

FOUNDATION NOTES:

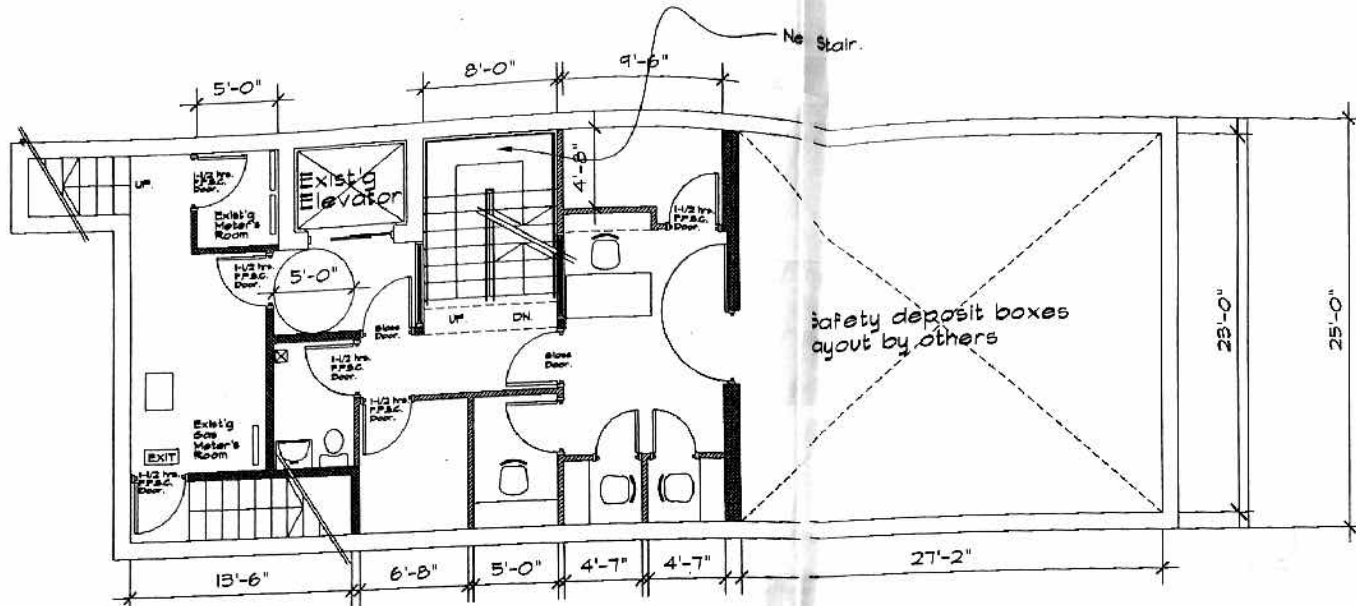
1. All footing shall bear on undisturbed soil to have an allowable bearing capacity of 1.5 tons per square foot. All excavations and bearing surfaces will be inspected by an engineer prior to place any concrete.
2. All slabs on on grade shall bear on firm undisturbed soil or controlled compacted refill.
3. Back fill shall not be placed against foundation walls until all supporting slabs have attained 28 days design strength and first floor wood joist or steel beams and plywood flooring are completely installed. all back fill must be placed simultaneously on all sides of the building or structures.
4. Contractor shall verify all elevations and positions of existing adjacent structures and protect those structures from damages causing by new construction.

\* CONTROL INSPECTION:

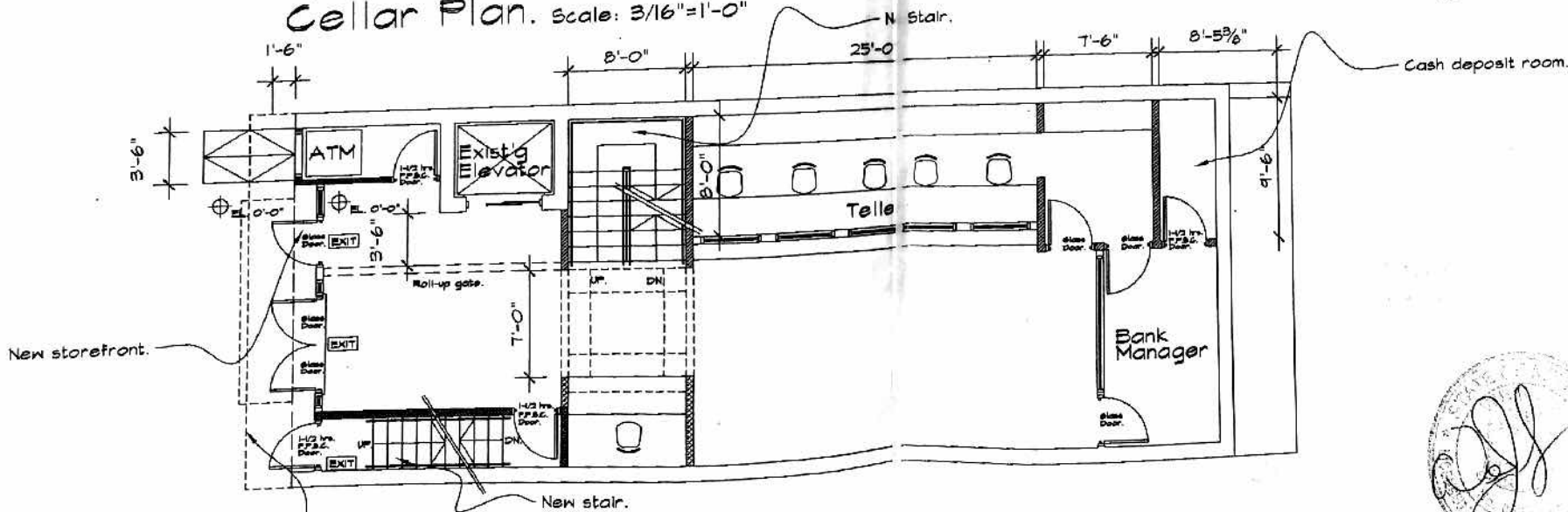
1. Eng/Installer Vents. Certif.
2. Fire stops.
3. Masonry Units.
4. Shoring.
5. Structural Stability.

SN-01 PREMISES: 30 East Broadway, Manhattan SCALE: AS NOTED. PROJECT NO.: 051101 TWINS

THESE PLANS ARE IN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT IN FRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON THIS PART.



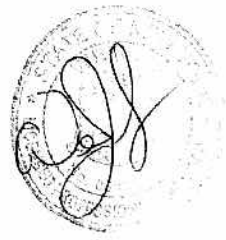
Cellar Plan. Scale: 3/16"=1'-0"



First Floor Plan. Scale: 3/16"=1'-0"

Provide construction fence during the time of constructi

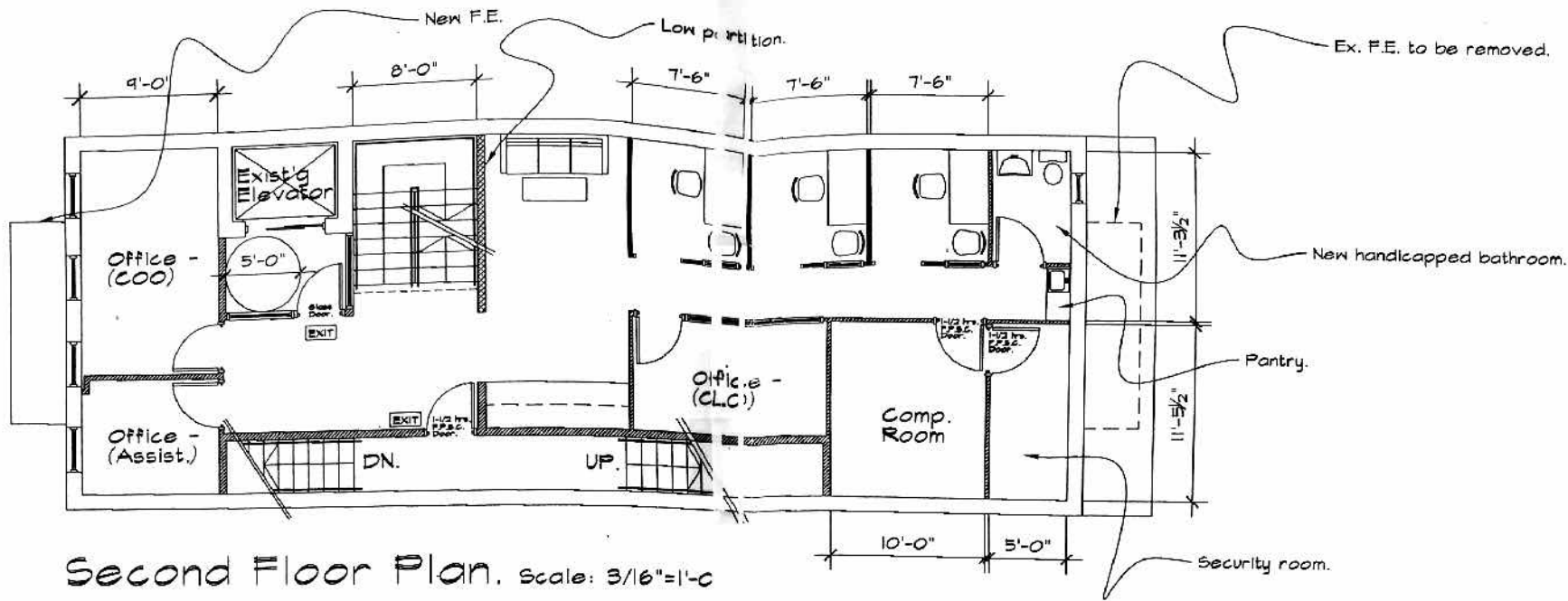
PROFESSIONAL CERTIFICATION  
DEPARTMENT OF BUILDINGS  
STAMP NUMBER 7 of 12



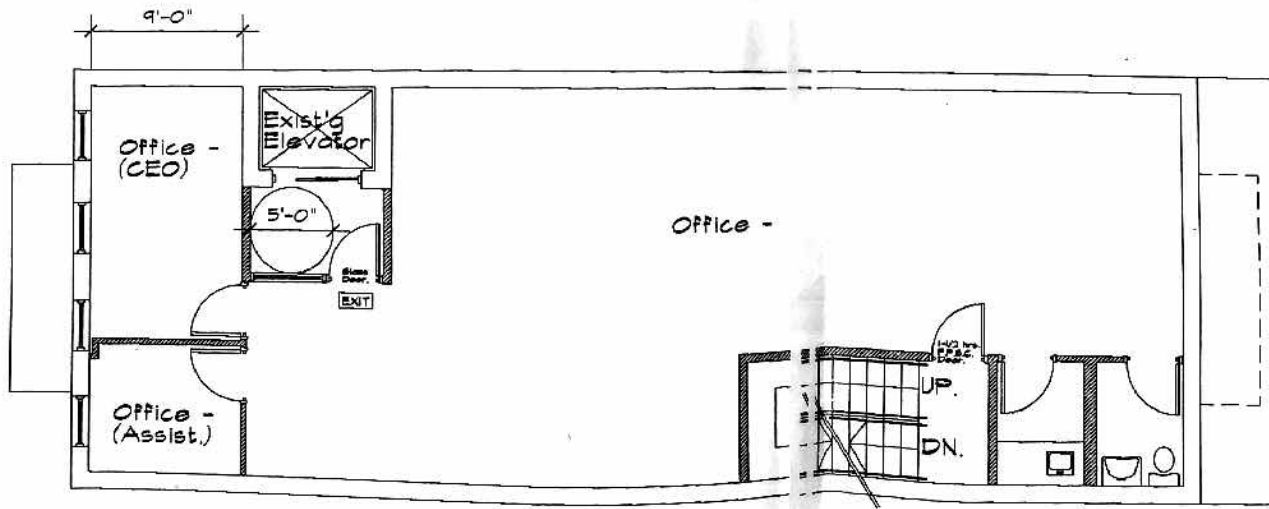
104340955

A-01 PREMISES: 30 East Broadway, Manhattan, New York City  
PROJECT NO.: 051101 SCALE: AS NOTED. JLT TWINS

THESE PLANS ARE IN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. IN FRINGEMENT WILL BE PROSECUTED.  
CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK.  
NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON THIS PART.



Second Floor Plan. Scale: 3/16"=1'-0"



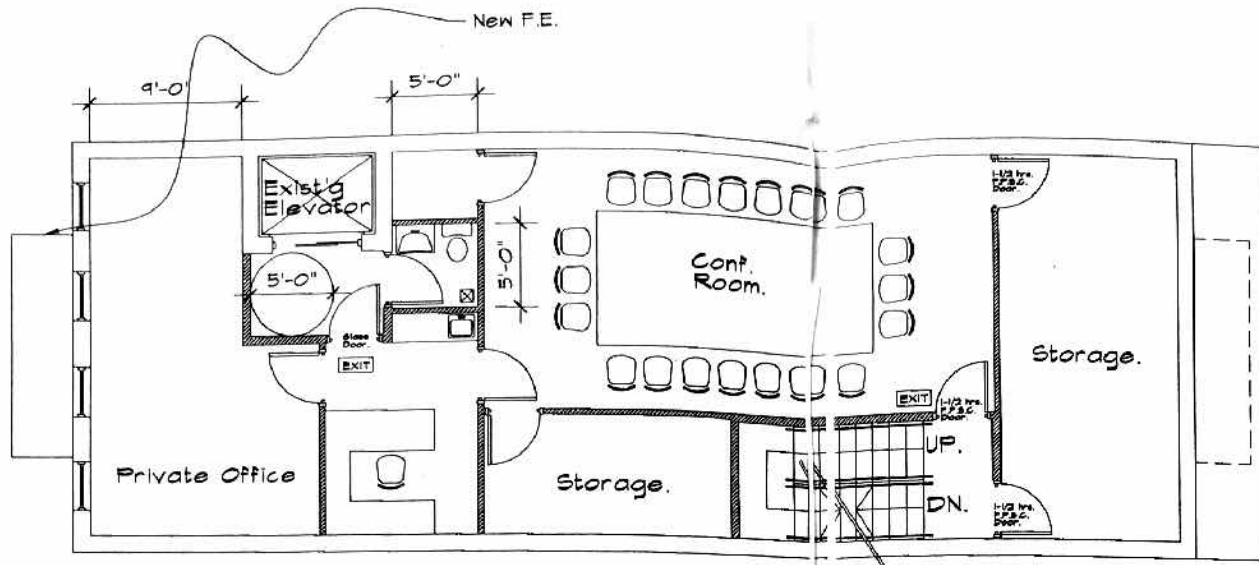
Third Floor Plan. Scale: 3/16"=1'-0"

DEPARTMENT OF BUILDINGS  
STAMP NUMBER 7 OF 12

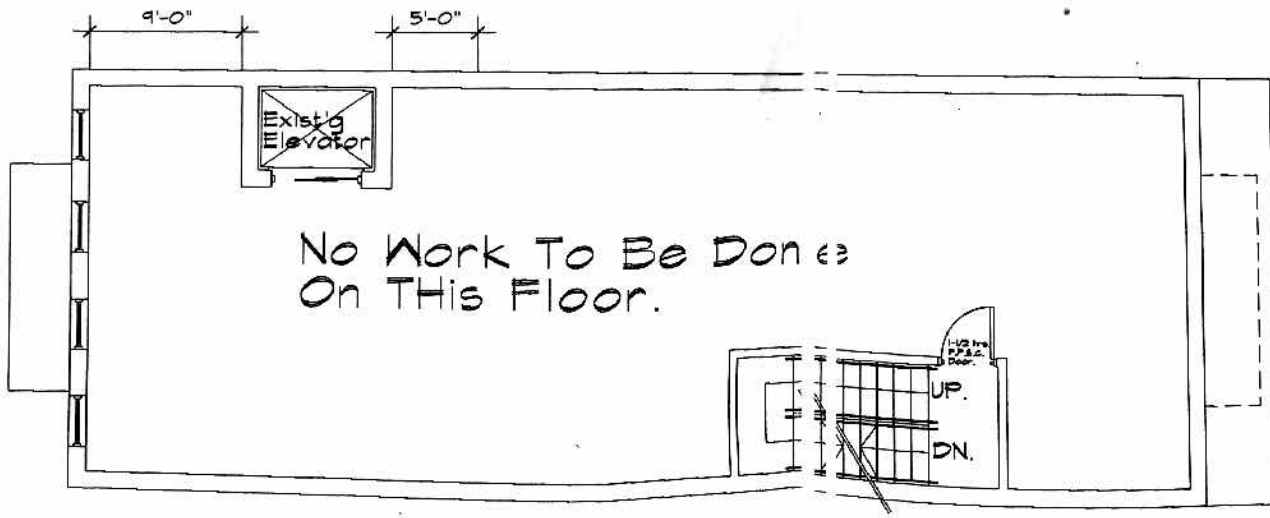
A-02 PREMISES: 30 East Broadway, Manhattan, New York  
 PROJECT NO.: 051101  
 SCALE: AS NOTED.  
 JJ TWINS  
 THESE PLANS ARE IN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT IN FRINGEMENT WILL BE PROSECUTED.  
 THESE PLANS SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK.

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FILE: D:/Acad/Manhattan/30 East Broadway  
 DATE: 11/01/05



Fourth Floor Plan. Scale: 3/16"=1'-0"



Fifth Floor Plan. Scale: 3/16"=1'-0"

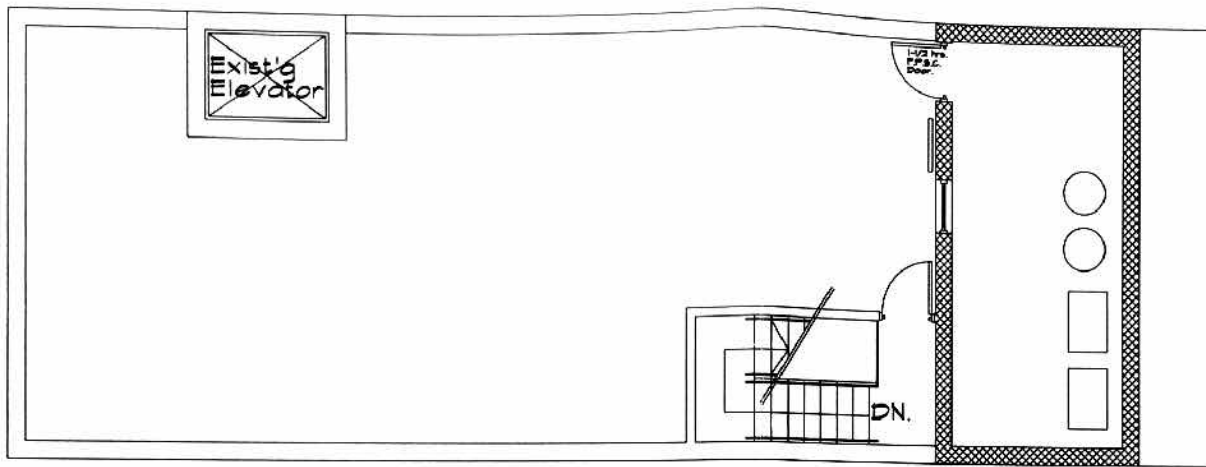
PROFESSIONAL  
 DEPARTMENT OF BUILDINGS  
 STAMP NUMBER 7 OF 12

A-03 PREMISES: 30 East Broadway, Manhattan, New York 10002 PROJECT NO.: 051101 SCALE: AS NOTED.

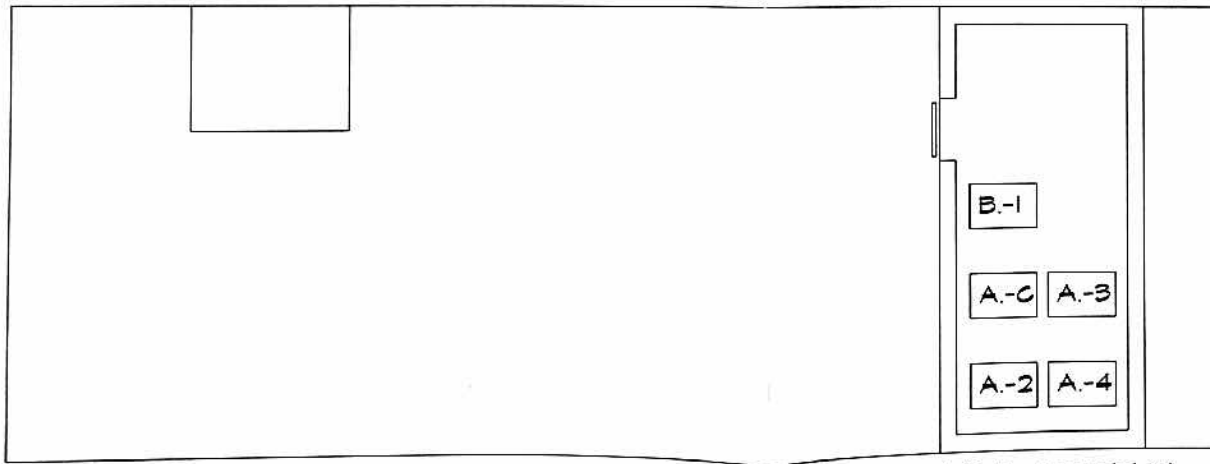
THESE PLANS ARE IN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT IN FRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON THIS PART.

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FILE: D:/Acad/Manhattan/30 East Broadway  
 DATE: 11/01/05



Roof Plan. Scale: 3/16"=1'-0"



Rolling? For J.P.F.

Roof Plan. Scale: 3/16"=1'-0"

A/C Equipment List.:

A. Manufacture.: York.  
 Model.: DIEG060  
 MEA No.: 85-93-E  
 Tonage.: 5 Tons.

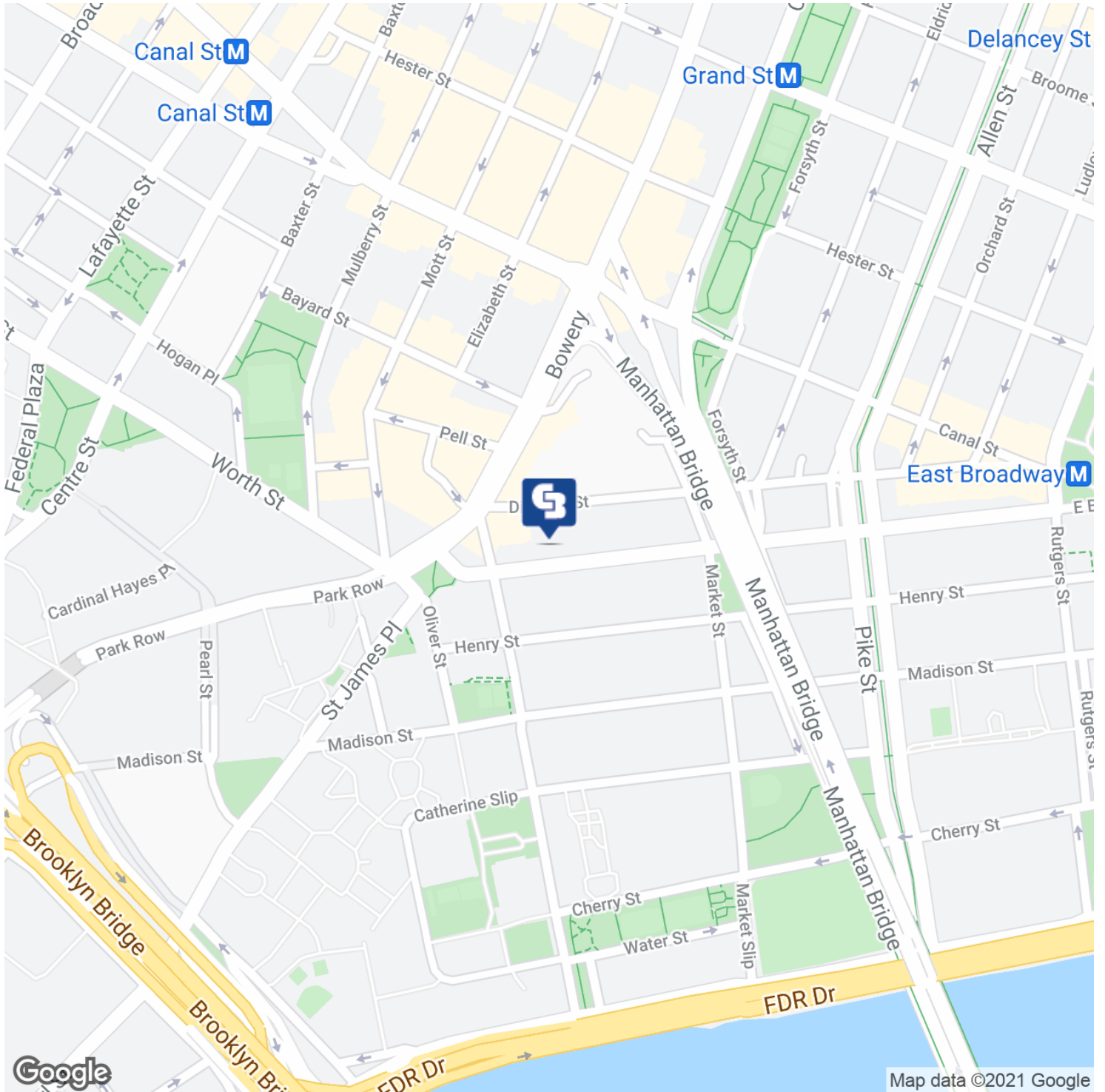
B. Manufacture.: York.  
 Model.: DIEG090  
 MEA No.: 85-93-E  
 Tonage.: 7-1/2 Tons.



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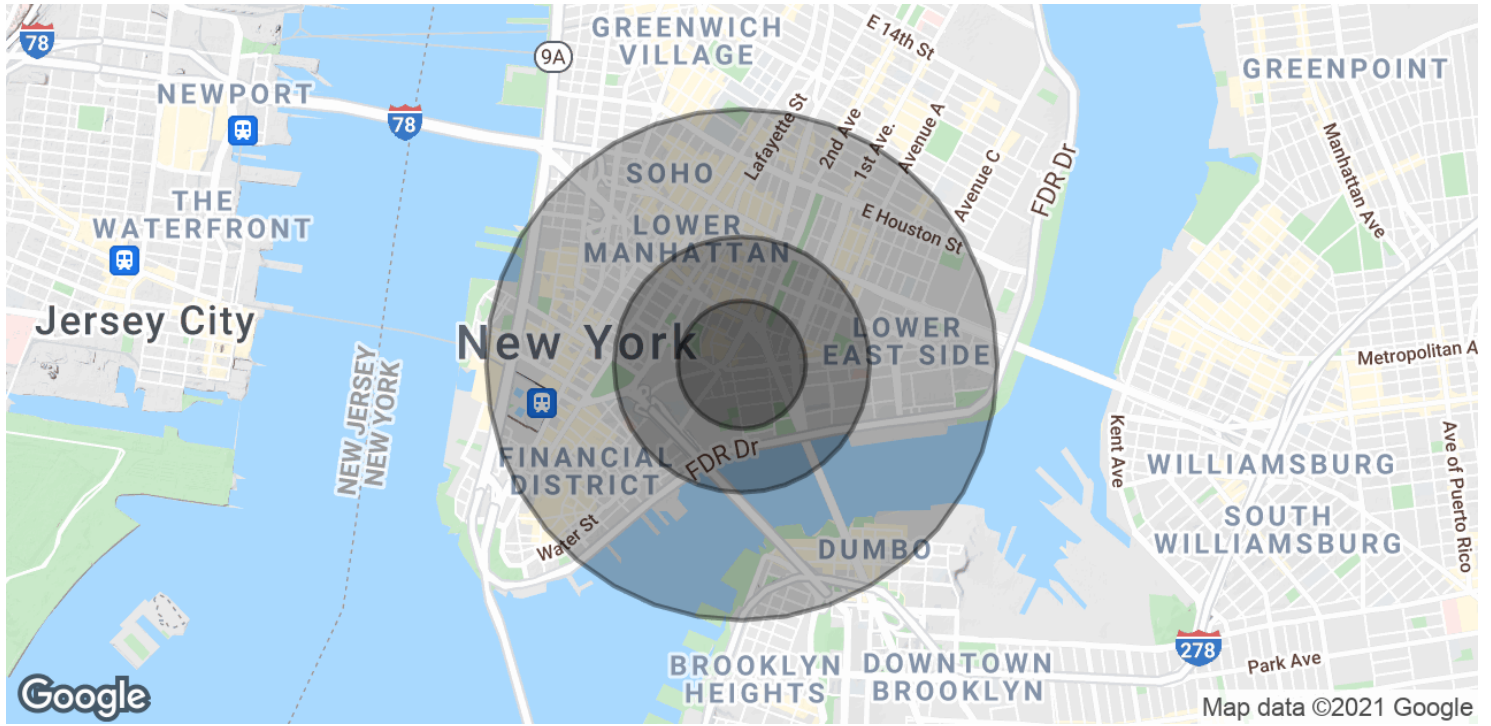
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POPULATION	0.25 MILES	0.5 MILES	1 MILE
Total Population	14,998	57,618	179,291
Average age	41.0	39.2	37.1
Average age (Male)	40.2	38.3	36.5
Average age (Female)	42.3	40.2	37.6
HOUSEHOLDS & INCOME	0.25 MILES	0.5 MILES	1 MILE
Total households	5,484	21,089	75,503
# of persons per HH	2.7	2.7	2.4
Average HH income	\$45,878	\$52,138	\$104,568
Average house value			\$835,337
ETHNICITY (%)	0.25 MILES	0.5 MILES	1 MILE
Hispanic	6.1%	8.8%	11.8%
RACE	0.25 MILES	0.5 MILES	1 MILE

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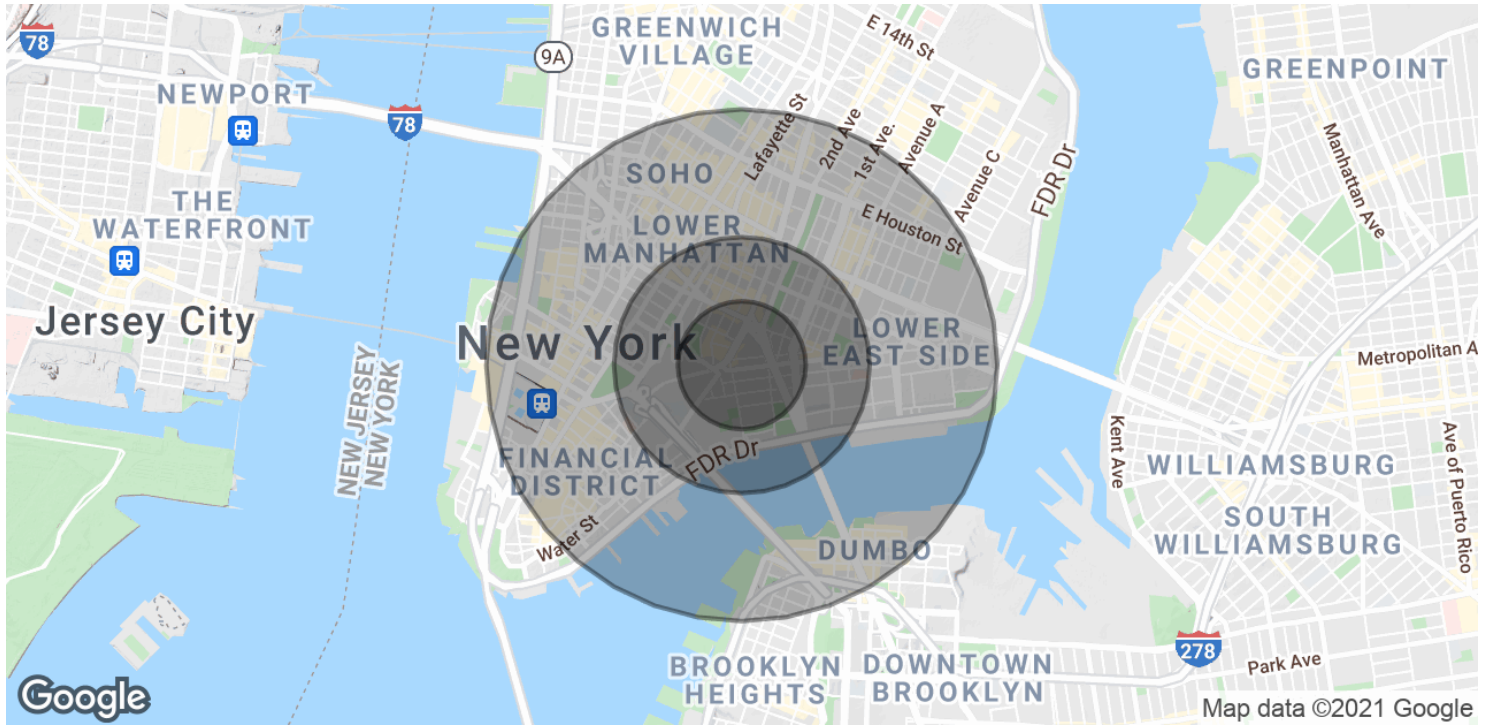




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% White	12.0%	17.5%	43.2%
% Black	3.5%	4.2%	5.0%
% Asian	78.8%	70.8%	42.5%
% Hawaiian	0.0%	0.0%	0.0%
% American Indian	0.5%	0.5%	0.4%
% Other	3.7%	5.2%	6.4%

\* Demographic data derived from 2010 US Census

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# Population

Population			
	1-mi.	3-mi.	5-mi.
Total Population (US Census 2010)	178,961	959,094	2,392,876
Total Population (Current Year)	191,813	1,052,639	2,600,869
Total Population (Five Year Projection)	199,701	1,107,642	2,709,793
Adult Population (US Census 2010)	154,732	817,567	1,965,103
Adult Population (Current Year)	165,423	891,810	2,139,179
Adult Population (Five Year Projection)	171,312	929,986	2,217,933
% Female Population (US Census 2010)	51.14%	51.77%	52.07%
% Male Population (US Census 2010)	48.86%	48.23%	47.93%
% Female Population (Current Year)	50.48%	51.31%	51.8%
% Male Population (Current Year)	49.52%	48.69%	48.2%
% Female Population (Five Year Projection)	50.37%	51.13%	51.65%
% Male Population (Five Year Projection)	49.63%	48.87%	48.35%
Total Daytime Population	707,592	2,483,456	4,450,425
Population aged 16 and under (Children)	30,995	189,912	464,844
Daytime population (Age 16+)	676,597	2,293,544	3,985,581
Civilian 16+, at Workplace	577,876	1,929,465	3,196,575
Retired population (Age 65+)	24,758	97,942	256,168
Homemakers (Age 16+)	13,976	68,638	193,532

Population Mosaic (Current Year)			
	1-mi.	3-mi.	5-mi.
% Power Elite	43.55%	46.96%	35.33%
% Flourishing Families	0%	0%	0%
% Booming with Confidence	0%	0%	0%
% Suburban Style	0%	0%	0%
% Thriving Boomers	0%	0%	0%
% Promising Families	0%	0%	0%
% Young City Solos	26.29%	34.51%	21.36%

% Middle-class Melting Pot	0%	0%	0%
% Family Union	0%	0%	0.07%
% Autumn Years	0%	0%	0%
% Significant Singles	26.33%	11.37%	21.77%
% Blue Sky Boomers	0%	0%	0%
% Families in Motion	0%	0%	0%
% Pastoral Pride	0%	0%	0%
% Singles and Starters	0%	0.47%	0.56%
% Cultural Connections	3.83%	6.32%	20.53%
% Golden Year Guardians	0%	0.22%	0.23%
% Aspirational Fusion	0%	0%	0%
% Economic Challenges	0%	0%	0.07%
% Unclassified	0%	0.15%	0.08%

## Age

	1-mi.	3-mi.	5-mi.
Median Age, Total	36.91	34.54	35.17
% Age 18+	86.24%	84.72%	82.25%
% Age 55+	25.89%	20.98%	22.62%
% Age 65+	15.02%	11.7%	12.55%

## Ethnicity

	1-mi.	3-mi.	5-mi.
% White (2010 US Census, Not Hispanic/Latino)	50.68%	67.28%	56.08%
% Black/African American (2010 US Census, Not Hispanic/Latino)	5.7%	11.12%	24.57%
% American Indian & Alaska Native (2010 US Census, Not Hispanic/Latino)	0.13%	0.16%	0.21%
% Asian (2010 US Census, Not Hispanic/Latino)	40.67%	18.38%	16.02%
% Native Hawaiian / Other Pacific Islander (2010 US Census, Not Hispanic/Latino)	0.03%	0.04%	0.04%
% Some other race (2010 US Census, Not Hispanic/Latino)	0.34%	0.41%	0.56%
% Two or more races (2010 US Census, Not Hispanic/Latino)	2.44%	2.6%	2.52%
% White (2010 US Census, Hispanic/Latino)	50.1%	48.26%	44.15%
% Black/African American (2010 US Census, Hispanic/Latino)	7.09%	8.16%	8.18%
% American Indian & Alaska Native (2010 US Census, Hispanic/Latino)	1.05%	1.32%	1.52%

% Asian (2010 US Census, Hispanic/Latino)	1.06%	0.62%	0.46%
% Native Hawaiian / Other Pacific Islander (2010 US Census, Hispanic/Latino)	0.07%	0.09%	0.08%
% Some other race (2010 US Census, Hispanic/Latino)	33.25%	34.09%	38.42%
% Two or more races (2010 US Census, Hispanic/Latino)	7.38%	7.45%	7.18%
% White (Current Year, Not Hispanic/Latino)	48.92%	65.79%	54.96%
% Black/African American (Current Year, Not Hispanic/Latino)	5.02%	9.55%	22.63%
% American Indian & Alaska Native (Current Year, Not Hispanic/Latino)	0.12%	0.15%	0.19%
% Asian (Current Year, Not Hispanic/Latino)	42.63%	20.82%	18.54%
% Native Hawaiian / Other Pacific Islander (Current Year, Not Hispanic/Latino)	0.04%	0.04%	0.04%
% Some other race (Current Year, Not Hispanic/Latino)	0.34%	0.42%	0.56%
% Two or more races (Current Year, Not Hispanic/Latino)	2.93%	3.24%	3.08%
% White (Current Year), Hispanic/Latino	49.57%	48.2%	43.9%
% Black/African American (Current Year, Hispanic/Latino)	7.16%	8.18%	8.36%
% American Indian & Alaska Native (Current Year, Hispanic/Latino)	1%	1.24%	1.39%
% Asian (Current Year, Hispanic/Latino)	1.11%	0.62%	0.44%
% Native Hawaiian / Other Pacific Islander (Current Year, Hispanic/Latino)	0.09%	0.08%	0.08%
% Some other race (Current Year, Hispanic/Latino)	33.15%	33.7%	38.24%
% Two or more races (Current Year, Hispanic/Latino)	7.93%	7.98%	7.6%
% White (Five Year Projection, Not Hispanic/Latino)	47.57%	64%	53.52%
% Black/African American (Five Year Projection, Not Hispanic/Latino)	4.91%	9.37%	22.4%
% American Indian & Alaska Native (Five Year Projection, Not Hispanic/Latino)	0.12%	0.14%	0.19%
% Asian (Five Year Projection, Not Hispanic/Latino)	43.64%	22.25%	19.75%
% Native Hawaiian / Other Pacific Islander (Five Year Projection, Not Hispanic/Latino)	0.04%	0.04%	0.04%
% Some other race (Five Year Projection, Not Hispanic/Latino)	0.34%	0.42%	0.55%
% Two or more races (Five Year Projection, Not Hispanic/Latino)	3.39%	3.78%	3.56%
% White (Five Year Projection, Hispanic/Latino)	49.54%	48.08%	43.65%
% Black/African American (Five Year Projection, Hispanic/Latino)	7.18%	8.19%	8.5%
% American Indian & Alaska Native (Five Year Projection, Hispanic/Latino)	0.94%	1.17%	1.32%
% Asian (Five Year Projection, Hispanic/Latino)	1.05%	0.58%	0.42%
% Native Hawaiian / Other Pacific Islander (Five Year Projection, Hispanic/Latino)	0.09%	0.08%	0.07%
% Some other race (Five Year Projection, Hispanic/Latino)	32.97%	33.64%	38.17%
% Two or more races (Five Year Projection, Hispanic/Latino)	8.23%	8.26%	7.86%

## Housing & Households

### Housing and Households

	1-mi.	3-mi.	5-mi.
Land Area (Estimated Square Miles)	2.71	20.78	61
Total Housing Units (Current Year)	94,291	544,983	1,258,767
Total Households (Current Year)	87,668	503,315	1,158,161
Total Households (Five Year Projection)	92,184	534,081	1,219,074
Owner-Occupied: Owned with a mortgage or loan	9,423	74,819	174,869
Owner-Occupied: Owned free and clear	8,492	48,173	115,605
Renter-Occupied	69,753	380,322	867,687

### Housing Value (Current Year)

	1-mi.	3-mi.	5-mi.
Housing Value < \$10,000	205	517	727
Housing Value \$10,000-\$14,999	125	473	695
Housing Value \$15,000-\$19,999	58	538	882
Housing Value \$20,000-\$24,999	59	624	866
Housing Value \$25,000-\$29,999	27	382	569
Housing Value \$30,000-\$34,999	62	326	477
Housing Value \$35,000-\$39,999	55	421	628
Housing Value \$40,000-\$49,999	65	467	977
Housing Value \$50,000-\$59,999	122	487	1,049
Housing Value \$60,000-\$69,999	68	463	1,043
Housing Value \$70,000-\$79,999	30	327	967
Housing Value \$80,000-\$89,999	56	356	998
Housing Value \$90,000-\$99,999	69	354	1,162
Housing Value \$100,000-\$124,999	178	803	2,669
Housing Value \$125,000-\$149,999	86	547	2,149
Housing Value \$150,000-\$174,999	52	998	3,698
Housing Value \$175,000-\$199,999	137	1,445	4,984
Housing Value \$200,000-\$249,999	392	3,145	10,063

Housing Value \$250,000-\$299,999	502	5,140	14,579
Housing Value \$300,000-\$399,999	1,031	10,676	28,150
Housing Value \$400,000-\$499,999	1,608	13,533	34,445
Housing Value \$500,000-\$749,999	2,818	24,028	58,164
Housing Value \$750,000-\$999,999	2,861	20,696	44,992
Housing Value \$1,000,000 or more	7,249	36,246	75,540
Total Owner-occupied housing units (OOHU)	17,915	122,993	290,474

## Income

	1-mi.	3-mi.	5-mi.
Per Capita Income (2010 US Census, based on Total Population)	\$54,305	\$55,433	\$46,722
Per Capita Income (Current Year, based on Total Population)	\$64,269	\$70,696	\$58,340
Per Capita Income (Five Year Projection, based on Total Population)	\$72,997	\$79,119	\$65,436
Average (Mean) Household Income (Current Year)	\$139,414	\$146,772	\$130,278
Median Household Income (Current Year)	\$76,441	\$93,320	\$78,637

## % Households by Income (Current Year)

	1-mi.	3-mi.	5-mi.
% Household Income < \$10,000	10.41%	7.91%	8.31%
% Household Income \$10,000-\$14,999	6.97%	4.47%	4.59%
% Household Income \$15,000-\$19,999	4.34%	3.42%	3.81%
% Household Income \$20,000-\$24,999	4.36%	3.26%	3.68%
% Household Income \$25,000-\$29,999	3.14%	2.6%	3.1%
% Household Income \$30,000-\$34,999	3.61%	2.86%	3.32%
% Household Income \$35,000-\$39,999	2.51%	2.35%	2.91%
% Household Income \$40,000-\$44,999	2.13%	2.37%	2.85%
% Household Income \$45,000-\$49,999	2.2%	2.1%	2.62%
% Household Income \$50,000-\$59,999	4.08%	4.61%	5.33%
% Household Income \$60,000-\$74,999	5.75%	6.55%	7.78%
% Household Income \$75,000-\$99,999	8.31%	10.15%	10.75%
% Household Income \$100,000-\$124,999	8.29%	9.53%	9.03%
% Household Income \$125,000-\$149,999	5.02%	6.42%	5.99%
% Household Income \$150,000-\$199,999	7.83%	10.36%	8.7%

% Household Income \$200,000-\$249,999	7.35%	7.98%	6.42%
% Household Income \$250,000-\$499,999	8.35%	7.89%	6.52%
% Household Income \$500,000+	5.36%	5.19%	4.29%

## Education (Current Year)

Education			
	1-mi.	3-mi.	5-mi.
College undergraduate	7,678	49,575	116,113
Graduate or prof school	4,972	32,596	64,413

Educational Attainment			
	1-mi.	3-mi.	5-mi.
No schooling completed	6,049	14,653	37,368
Nursery to 4th grade	2,452	7,429	20,935
5th and 6th grade	7,125	15,326	47,284
7th and 8th grade	4,590	14,197	39,169
9th grade	3,742	10,956	31,051
10th grade	2,110	8,500	27,092
11th grade	1,534	9,544	31,966
12th grade, no diploma	3,860	14,320	41,973
High school graduate, GED	20,443	94,469	328,967
Some college, <1 year	2,154	17,423	49,526
Some college, 1+ years	9,523	56,353	163,312
Associate's degree	4,679	25,894	79,866
Bachelor's degree	46,413	282,854	576,094
Master's degree	22,299	150,329	299,059
Professional school degree	8,043	52,824	105,157
Doctorate degree	3,575	21,424	43,454



## Employment and Occupation

### Employment and Occupation

	1-mi.	3-mi.	5-mi.
Total Civilian employed population aged 16+ (2010 US Census)	97,347	549,389	1,264,090
Total Civilian employed population aged 16+ (Current Year)	109,701	614,895	1,397,253
Total Civilian employed population aged 16+ (Five Year Projection)	112,973	637,965	1,439,662

### % Employment by Industry (2010 US Census)

	1-mi.	3-mi.	5-mi.
% Armed Forces (2010 US Census)	0%	0.04%	0.06%
% Civilian, Employed (2010 US Census)	92.49%	92.8%	91.17%
% Civilian, Unemployed (2010 US Census)	7.51%	7.16%	8.77%
% Not in Labor Force (2010 US Census)	32.99%	28.74%	31.01%
% Armed Forces (Current Year)	0%	0.04%	0.06%
% Civilian, Employed (Current Year)	96.11%	96.49%	95.9%
% Civilian, Unemployed (Current Year)	3.89%	3.47%	4.04%
% Not in Labor Force (Current Year)	31.92%	29.51%	33.18%
% Armed Forces (Five Year Projection)	0%	0.04%	0.06%
% Civilian, Employed (Five Year Projection)	96.14%	96.54%	95.97%
% Civilian, Unemployed (Five Year Projection)	3.86%	3.42%	3.97%
% Not in Labor Force (Five Year Projection)	32.3%	29.89%	33.6%

### Transportation to Work (Current Year)

	1-mi.	3-mi.	5-mi.
Total Workers 16+	109,701	614,895	1,397,253
Car, truck, or van	9,725	64,051	221,575
Public transport (not taxi)	58,926	355,691	812,836
Worked at home	7,084	42,212	78,365

## Travel Time to Work (Current Year)

	<b>1-mi.</b>	<b>3-mi.</b>	<b>5-mi.</b>
< 5 minutes	2,383	8,485	16,638
5-9 minutes	5,889	25,621	49,069
10-14 minutes	9,026	42,252	86,162
15-19 minutes	13,207	59,517	119,802
20-24 minutes	16,079	82,724	166,879
25-29 minutes	8,036	41,004	77,692
30-34 minutes	22,217	120,617	263,418
35-39 minutes	3,418	24,638	54,594
40-44 minutes	5,395	41,606	100,635
45-59 minutes	7,814	72,360	199,893
60-89 minutes	6,849	40,667	140,121
90+ minutes	2,304	13,193	43,985

## Consumer Expenditures (Current Year)

Consumer Expenditures			
	1-mi.	3-mi.	5-mi.
Total Alcoholic beverages	\$44,516,918	\$282,953,358	\$618,151,379
Total Apparel and services	\$165,071,113	\$1,075,286,690	\$2,377,802,889
Total Cash contributions	\$122,559,942	\$801,810,168	\$1,836,107,393
Total Education	\$183,188,013	\$1,325,158,949	\$2,890,771,263
Total Entertainment	\$248,554,404	\$1,632,843,505	\$3,484,998,175
Total Food	\$661,217,678	\$4,157,730,683	\$9,280,830,561
Total Gifts	\$88,974,204	\$631,085,248	\$1,461,910,296
Total Healthcare	\$355,516,877	\$2,371,091,157	\$5,271,568,624
Total Housing	\$2,000,154,009	\$12,969,983,462	\$28,536,361,809
Total Miscellaneous	\$86,484,956	\$576,116,307	\$1,280,222,022
Total Personal care products and services	\$66,241,488	\$423,078,612	\$946,925,341
Total Personal insurance and pensions	\$642,620,585	\$4,445,817,607	\$9,424,788,918
Total Reading	\$6,352,528	\$41,778,549	\$98,917,607
Total Tobacco products and smoking supplies	\$24,299,804	\$158,042,532	\$361,208,521
Total Transportation	\$870,721,202	\$5,605,387,462	\$12,548,959,428

Retail Demand by Store Type			
	1-mi.	3-mi.	5-mi.
Total Retail Demand	\$3,411,061,620	\$21,970,984,146	\$49,208,263,072
Building Material & Garden Equipment & Supply Dealers	\$214,526,443	\$1,411,257,944	\$3,183,132,379
Clothing & Clothing Accessories Stores	\$186,970,321	\$1,217,397,157	\$2,687,216,307
Electronics and Appliance Stores	\$52,062,207	\$335,658,195	\$742,555,833
Food & Beverage Stores	\$472,370,657	\$2,956,305,956	\$6,708,268,255
Food Services & Drinking Places	\$496,146,455	\$3,159,885,848	\$6,890,572,945
Furniture & Home Furnishings Stores	\$68,556,227	\$459,925,651	\$1,012,765,709
Gasoline stations	\$228,768,689	\$1,493,846,035	\$3,410,681,412
General Merchandise Stores	\$434,111,143	\$2,753,307,284	\$6,200,699,206

General Merchandise, Apparel and Accessories, Furniture and Other Sales	\$798,188,233	\$5,139,625,325	\$11,472,479,175
Health & Personal Care Stores	\$182,905,826	\$1,147,563,850	\$2,659,333,936
Miscellaneous Store Retailers	\$75,549,962	\$477,655,767	\$1,061,592,463
Motor Vehicle & Parts Dealers	\$540,034,831	\$3,604,334,621	\$7,998,251,866
Nonstore retailers	\$419,217,938	\$2,687,342,109	\$6,064,191,739
Sporting Goods, Hobby, Musical Instrument, and Book Stores	\$39,840,922	\$266,503,727	\$589,001,024

## Business Summary by SIC

	1-mi.	3-mi.	5-mi.
Agriculture, Forestry, & Fishing (01-09)	94	537	969
Construction (15-17)	447	2,581	5,338
Finance, Insurance, & Real Estate (60-69)	2,877	11,608	22,832
Manufacturing (20-39)	856	5,045	8,291
Mining (10-14)	17	52	109
Public Administration (90-98)	393	923	1,427
Retail Trade (52-59)	4,146	17,944	32,101
Services (70-89)	12,880	59,522	101,214
Transportation, Communications, Electric, Gas, & Sanitary Services (40-49)	707	3,534	6,857
Wholesale Trade (50-51)	998	6,292	11,111



# TRAFFIC COUNT ANALYSIS

30 East Broadway, New York, NY 10002

LEASE

Collection Street	Cross Street	Cross St Dist/Dir	Traffic Volume	Count Year	Dist from Subject	Type
Madison St	Market St	0.07 E	5,813	2018	0.12	MPSI...
St James Pl	James St	0.02 NE	17,615	2014	0.16	MPSI...
Saint James Pl		0.00	12,482	2017	0.16	MPSI...
Saint James Pl	James St	0.02 NE	21,110	2018	0.16	MPSI...
Bayard St	Mott St	0.01 SE	2,016	2018	0.18	MPSI...
Eldridge St	Canal St	0.02 SW	1,731	2018	0.22	MPSI...
St James Pl	Pearl St	0.03 SW	1,144	2014	0.25	MPSI...
Manhattan Brg	Monroe St	0.03 NW	58,257	2018	0.26	MPSI...
E Broadway	Rutgers St	0.06 E	24,042	2017	0.28	MPSI...
E Broadway	Pike St	0.06 W	10,608	2018	0.28	MPSI...

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RELIABLE REA

## Confidentiality Statement

### *Confidentiality Statement*

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Interested lessees should be aware that the lessor is leasing the Property "AS IS" **CONDITION WITH ALL FAULTS, WITHOUT REPRESENTATIONS OR WARRANTIES OF ANY KIND OR NATURE.** Prior to and/or after contracting to lease, as appropriate, lessee will be given a reasonable opportunity to inspect and investigate the Property and all improvements thereon, either independently or through agents of the lessee's choosing.

The Owner reserves the right to withdraw the Property being marketed at any time without notice, to reject all offers, and to accept any offer without regard to the relative price and terms of any other offer. Any offer to lease or purchase must be: (i) presented in the form of a non-binding letter of intent; (ii) incorporated in a formal written contract to lease or purchase and prepared by the Owner or their representatives and executed by both parties; and (iii) approved by the Owner and such other parties who may have an interest in the Property. Neither the prospective tenant or purchaser nor Owner shall be bound until execution of a formal lease or contract of sale, which contract shall supersede prior discussions and writings and shall constitute the sole agreement of the parties.

Prospective tenants or purchasers shall be responsible for their costs and expenses of investigating the Property and all other expenses, professional or otherwise, incurred by them.