

# Chase Financial Center

2601 10th Avenue, Palm Springs, FL 33461



- Beautiful 95,000 +/- S.F. Office Building.
- Includes 422 parking spaces on 9 +/- acres in Campus like setting.
- Centrally Located in the heart of Palm Beach County at signalized intersection.
- Easy access and close proximity to I-95.
- Entire Second Floor containing 25,000 SF Available.



**Jupiter Realty Company**

John Hoecker, CCIM, CPM, CSM

President

5613668424

[John@JupiterRealtyCompany.com](mailto:John@JupiterRealtyCompany.com)

401 S. Dixie Highway, Suite 300  
West Palm Beach, FL 33401

561-366-8424 (p)

561-366-9684 (f)

[www.JupiterRealtyCompany.com](http://www.JupiterRealtyCompany.com)

# Table of Contents

---



Jupiter Realty Company

## SECTION 1 - PROPERTY DESCRIPTION

## SECTION 2 - PROPERTY PHOTOS

## SECTION 3 - MAPS & AERIALS

## SECTION 4 - FLOOR PLANS

Chase Financial Center

2601 10th Avenue  
Palm Springs, FL 33461

## Property Description

---



Jupiter Realty Company

Chase Financial Center  
2601 10th Avenue  
Palm Springs, FL 33461

## Property Description



Jupiter Realty Company

John Hoecker, CCIM, CPM, CSM  
5613668424

### ***Property Description***

Beautiful 95,000 +/- S.F. office building situated on nine (9) acres in central Palm Beach County. The property is well located- 1/4 mile west of I-95, at the signalized intersection of 10th Avenue and Florida Mango Road. The building is four (4) stories with the top three floors containing roughly 25,000 +/- S.F. each, and the ground floor containing approximately 20,000 +/- S.F. The property includes 422 parking spaces which equates to approximately 4.5 spaces per 1000 SF.



Chase Bank currently occupies roughly 10,000 S.F. on the ground floor. Palm Beach County Health Services currently occupies the balance of the ground floor, as well as floors 3 and 4. This leaves the second floor available for lease.

The building features a large plaza area on the ground floor and an open atrium in the center of the building. The interior office spaces feature nine (9) foot ceilings. There is an electric Roller Panel Gate system in the courtyard and a gated parking lot for security. In addition, the elevators are accessed by swipe card and all restrooms, common areas and break-rooms are accessed by FOB keys for additional security. There are floor to ceiling windows throughout the building providing natural light throughout. The overall property is heavily landscaped with mature trees, including many large oak trees which provides for a very nice campus like setting. The property presents a very good opportunity for larger space users that are rent sensitive, with heavier parking requirements

Chase Financial Center

2601 10th Avenue  
Palm Springs, FL 33461

## Property Photos

---



**Jupiter Realty Company**



Chase Financial Center  
2601 10th Avenue  
Palm Springs, FL 33461

## Property Photos



Jupiter Realty Company

John Hoecker, CCIM, CPM, CSM  
5613668424

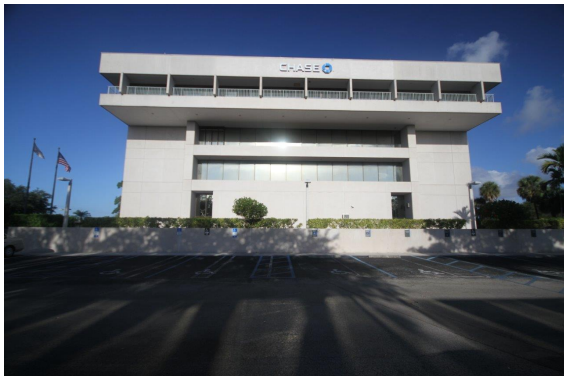
## Property Photos



South Elevation



Southeast Elevation



East Elevation



Northeast Elevation



Interior Courtyard Ground Floor



Interior Courtyard from 4th Floor

Chase Financial Center

2601 10th Avenue  
Palm Springs, FL 33461

## Maps & Aerials

---

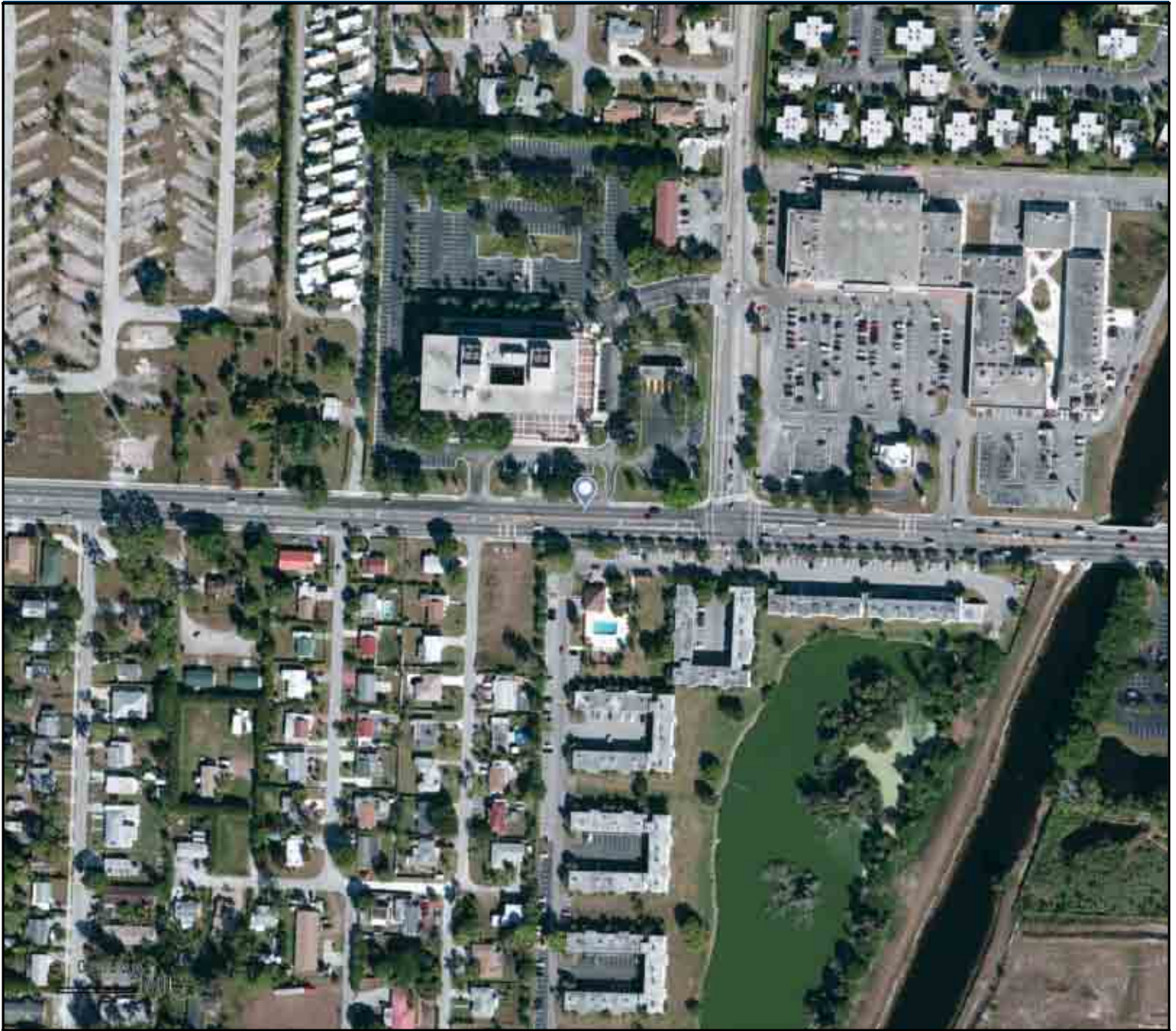


**Jupiter Realty Company**



Chase Financial Center  
2601 10th Ave N, Lake Worth, Florida, 33461  
Rings: 1, 2, 3 mile radii

Prepared by Esri  
Latitude: 26.62832  
Longitude: -80.08137



Source: ArcGIS Online World Imagery Basemap

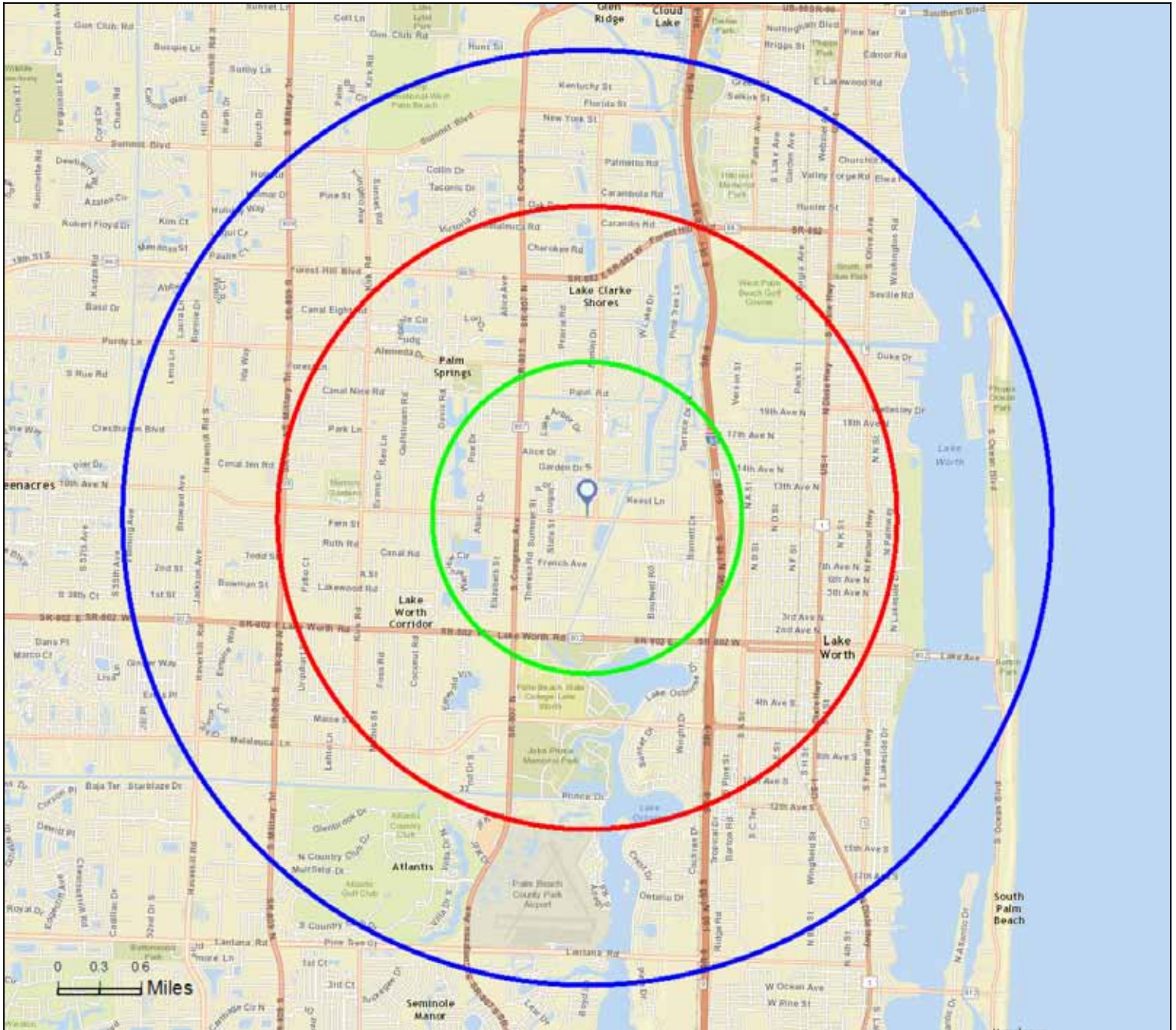




# Site Details Map

Chase Financial Center  
2601 10th Ave N, Lake Worth, Florida, 33461  
Rings: 1, 2, 3 mile radii

Prepared by Esri  
Latitude: 26.62832  
Longitude: -80.08137



**This site is located in:**

- City:** ---
- County:** Palm Beach County
- State:** Florida
- ZIP Code:** 33461
- Census Tract:** 12099004500
- Census Block Group:** 120990045002
- CBSA:** Miami-Fort Lauderdale-West Palm Beach, FL Metropolitan Statistical Area

Chase Financial Center

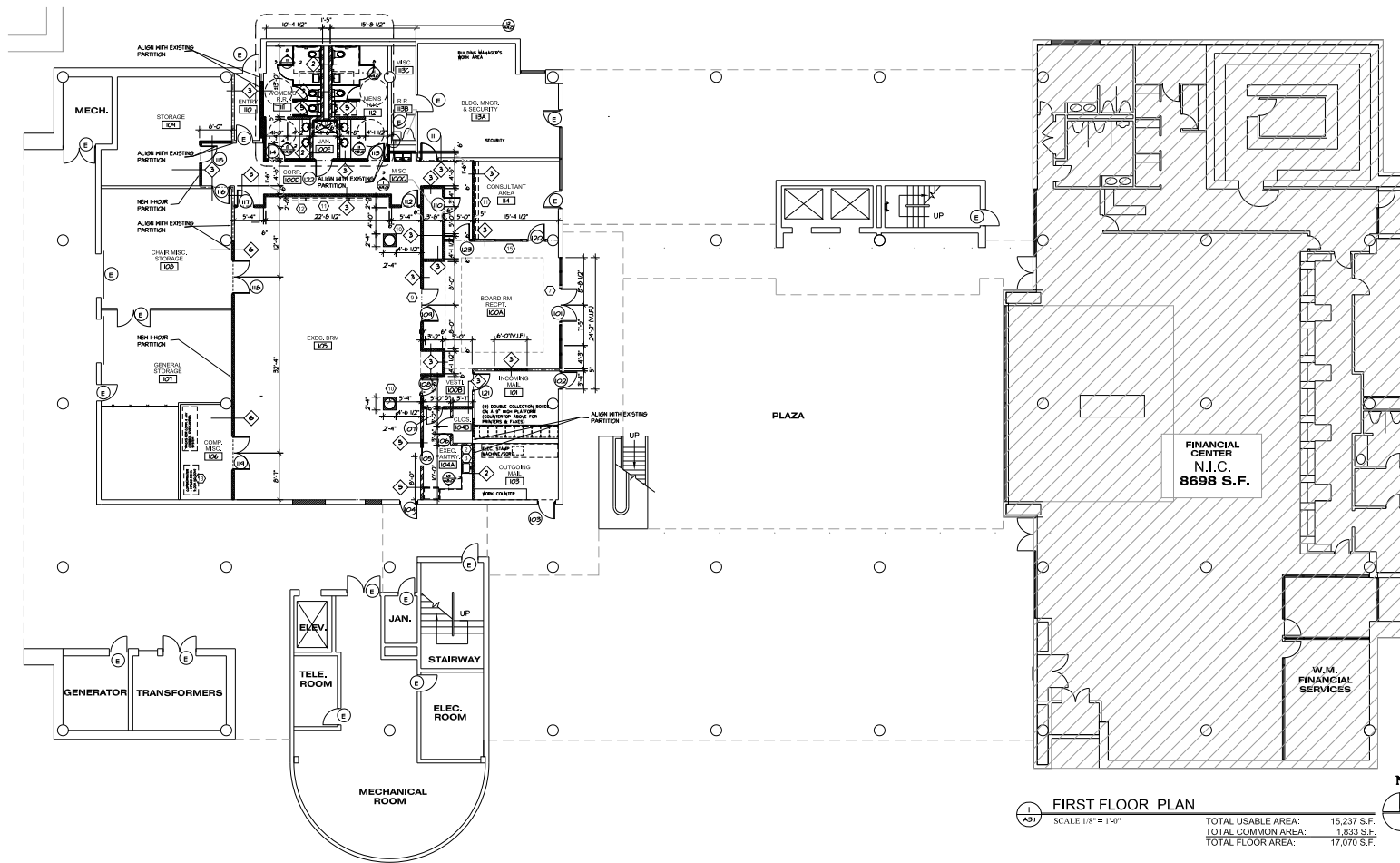
2601 10th Avenue  
Palm Springs, FL 33461

## Floor Plans

---



Jupiter Realty Company



NOTES:  
 1. REFER TO SHEET A-2.3 FOR DOOR SCHEDULE  
 2. REFER TO SHEET A-2.3 FOR FRESH SCHEDULE  
 3. REFER TO SHEET A-5.1 FOR PARTITION TYPES AND DETAILS

**PARTITION LEGEND**

	EXISTING PARTITION (V/J)
	NEW PARTITION WALLS W/ GYP. BOARD ON STUDS TO BOT. OF ROOF DECK ABOVE
	NEW ONE-HOUR RATED PARTITION TO BOTTOM OF STRUCTURE ABOVE
	NEW TYPICAL INTERIOR PARTITION GYP. BOARD ON WIL. STUDS FRAMED TO THE BOTTOM OF THE FINISHED CEILING
	NEW TYPICAL INTERIOR PARTITION GYP. BOARD ON WIL. STUDS FRAMED 4' ABOVE FINISHED CEILING
	NEW TWO-HOUR RATED PARTITION TO BOTTOM OF STRUCTURE ABOVE

**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	SECTION NO.
	SHEET CALL OUT
	PARTITION TYPE NUMBER
	INTERIOR ELEVATION
	SPACE NAME
	ROOM NO.
	DOOR NO.
	WINDOW TAG
	NEW FIRE EXTINGUISHER CABINET -- SEE DETAIL B-3.0
	DETAIL NO.
	SHEET CALL OUT
	KEY PLAN NOTES SYMBOL

- KEY PLAN NOTES:**
- EXISTING MILLWORK.
  - NEW MILLWORK. SEE SHEET A-6.0.
  - APPLIANCES NOT INCLUDED IN G.I.
  - BOTTLED WATER AND DISPENSER BY OTHERS.
  - RELOCATED MILLWORK. SEE DEMOLITION PLANS.
  - CONTRACTOR TO APPLY 2" TYPE GYPSUM ON 1/2" INS. FIBER AT 4" O.C. WITH R-5 INSULATION AT INTERIOR FACE OF EXTERIOR WALL AND PATCH AND REPAIR SYSTEM AT OTHER WALLS AS REQUIRED.
  - NEW WALL-CRATED SHOCKPOINT HIRCON SYSTEM. SEE STRUCTURAL DRAWINGS.
  - NEW HOP SINK.
  - NEW TEMPERED INTERIOR GLAZING SYSTEM.
  - EXISTING COLUMNS TO BE FRAMED WITH METAL FRAMING AND GYPSUM.
  - W/ 2" LONG BY 3'-0" HIGH BRASS RITE PROTECTION SURFACE DRY BRASS BOARD.
  - CONTRACTOR SHALL MAINTAIN A LEVEL W/ WALL FINISH AT THIS WALL FOR PROTECTOR SERVICE TO BE APPLIED (V/J).
  - COVER BY OTHERS.
  - EXISTING WALLS AT CORRIDOR TO BE CLEANED AND PREP FOR PAINTING.
  - 1-HOUR RATED FIXED GLASS HIRCON.

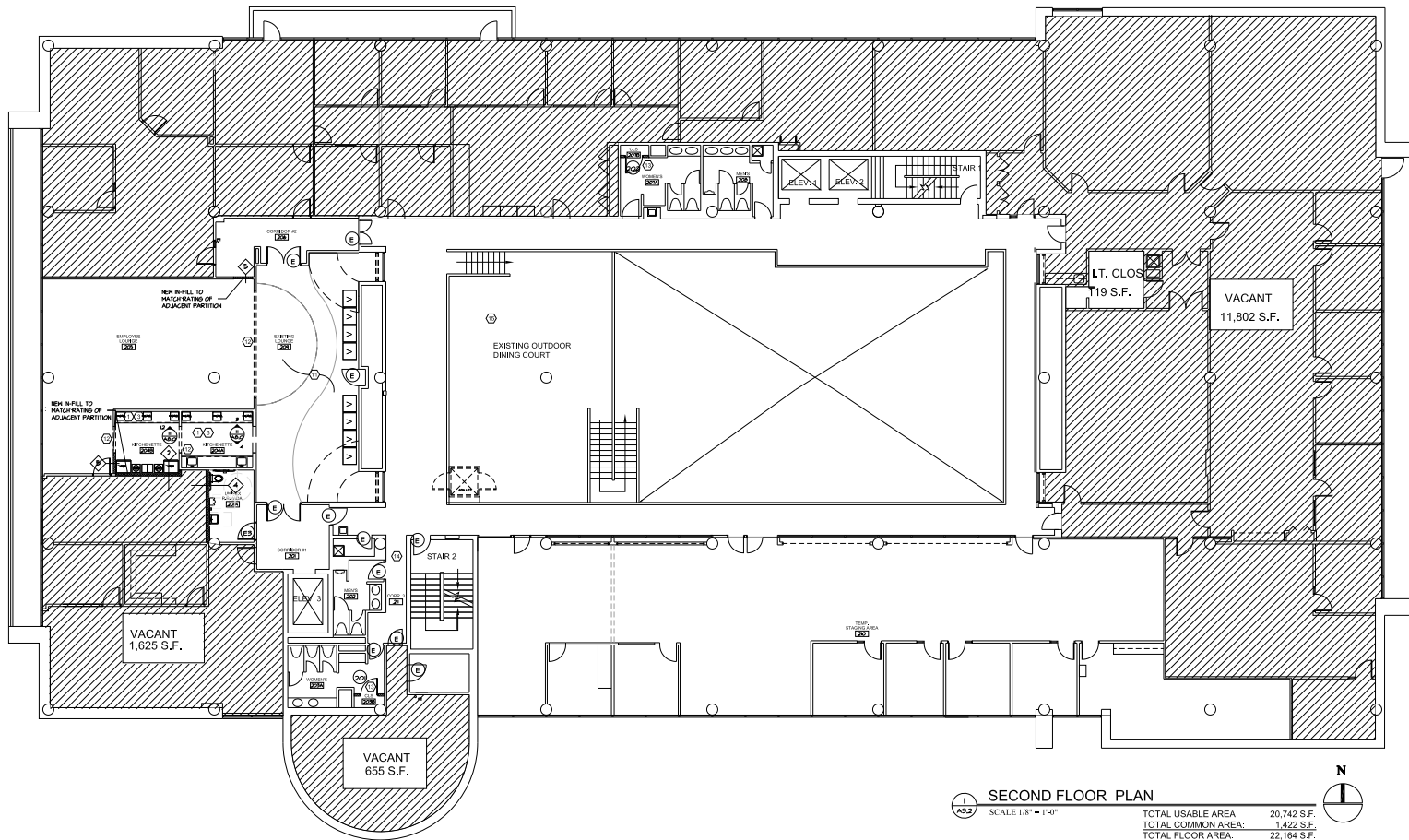
**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 TOTAL USABLE AREA: 15,237 S.F.  
 TOTAL COMMON AREA: 1,833 S.F.  
 TOTAL FLOOR AREA: 17,070 S.F.

01-13-2012 AS BUILT SET  
**HEALTH CARE DISTRICT HEADQUARTERS**  
 PALM BEACH COUNTY  
 2601 10TH AVENUE NORTH  
 PALM SPRINGS, FLORIDA 33461

**SALTZ MICHELSON**  
 ARCHITECTS  
 1800 Australian Ave. Suite 102  
 West Palm Beach, FL 33409  
 (561) 688-3370 Fx: (561) 688-0129  
 www.saltzmichelson.com  
 AA-0002897

Charles Michelson AR0009976

Project No.: 2010-0119  
 Drawn By: tas  
 Checked By:  
 Date: 05-26-10  
 Revisions:



**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 TOTAL USABLE AREA: 20,742 S.F.  
 TOTAL COMMON AREA: 1,422 S.F.  
 TOTAL FLOOR AREA: 22,164 S.F.

**NOTES:**  
 1. REFER TO SHEET A-3.2 FOR DOOR SCHEDULE  
 2. REFER TO SHEET A-3.3 FOR FRESH SCHEDULE  
 3. REFER TO SHEET A-3.1 FOR PARTITION TYPES AND DETAILS

**PARTITION LEGEND**

[Symbol]	DENOTES EXISTING PARTITION (V/F)
[Symbol]	DENOTES PARTITION WALLS W/ GYP. BOARD ON SIDES TO BOTH OF ROOF DECK ABOVE.
[Symbol]	DENOTES ONE-HOUR RATED PARTITION TO BOTTOM OF STRUCTURE ABOVE.
[Symbol]	DENOTES TYPICAL INTERIOR PARTITION GYP. BOARD ON W/LL. SIDES FRAMED TO THE BOTTOM OF THE FINISHED CEILING.
[Symbol]	DENOTES TYPICAL INTERIOR PARTITION GYP. BOARD ON W/LL. SIDES FRAMED BY ABOVE FINISHED CEILING.

**FLOOR PLAN LEGEND**

TYPE	DESCRIPTION
[Symbol]	SHEET GET ON
[Symbol]	PARTITION TYPE NUMBER
[Symbol]	INTERIOR ELEVATION
[Symbol]	SPACE NAME ROOM NO.
[Symbol]	DOOR NO.
[Symbol]	HATCH TAG
[Symbol]	NEW FINE EXTENSOR CABINET - SEE DETAIL 3103
[Symbol]	DETAIL NO.
[Symbol]	SHEET GET ON
[Symbol]	KEY PLAN NOTES SYMBOL

- KEY PLAN NOTES:**
- EXISTING MILLWORK.
  - NEW MILLWORK. SEE SHEET A-3.2.
  - APPLIANCES NOT INCLUDED (N/I).
  - BOTTLED WATER AND DISPENSER BY OTHERS.
  - RELOCATED MILLWORK. SEE DEMOLITION PLANS.
  - CONTRACT TO APPLY 3/4" TYPE OPTION ON J W/LL FINISH AT 4" O.C. WITH 45 ROUND INSULATION AT INTERIOR FACE OF EXTERIOR WALL AND FINISH AND REPAIR GYP. ON OTHER WALLS AS REQUIRED.
  - NEW IMPACT RATED STORMPROOF HATCH SYSTEM. SEE STRUCTURAL DRAWINGS.
  - NEW HOP SINK.
  - NEW TEMPERED INTERIOR GLAZING SYSTEM.
  - EXISTING COLUMNS TO BE FINISH WITH METAL PEARLING AND OPTION.
  - 8" O.P. LONG BY 5'-0" HIGH BRASS RITE PROTECTION SURFACE DRY BRASS BOARD.
  - CONTRACTOR SHALL MAINTAIN A LEVEL 1/4" WALL FINISH AT THIS WALL FOR PROTECTION SURFACE TO BE APPLIED (V/F).
  - COVER BY OTHERS.
  - EXISTING WALLS AT CORRIDOR TO BE CLEANED AND PREP FOR PAINTING.
  - DENOTES FUTURE ADA CHAIR LIFT TO BE INSTALLED.

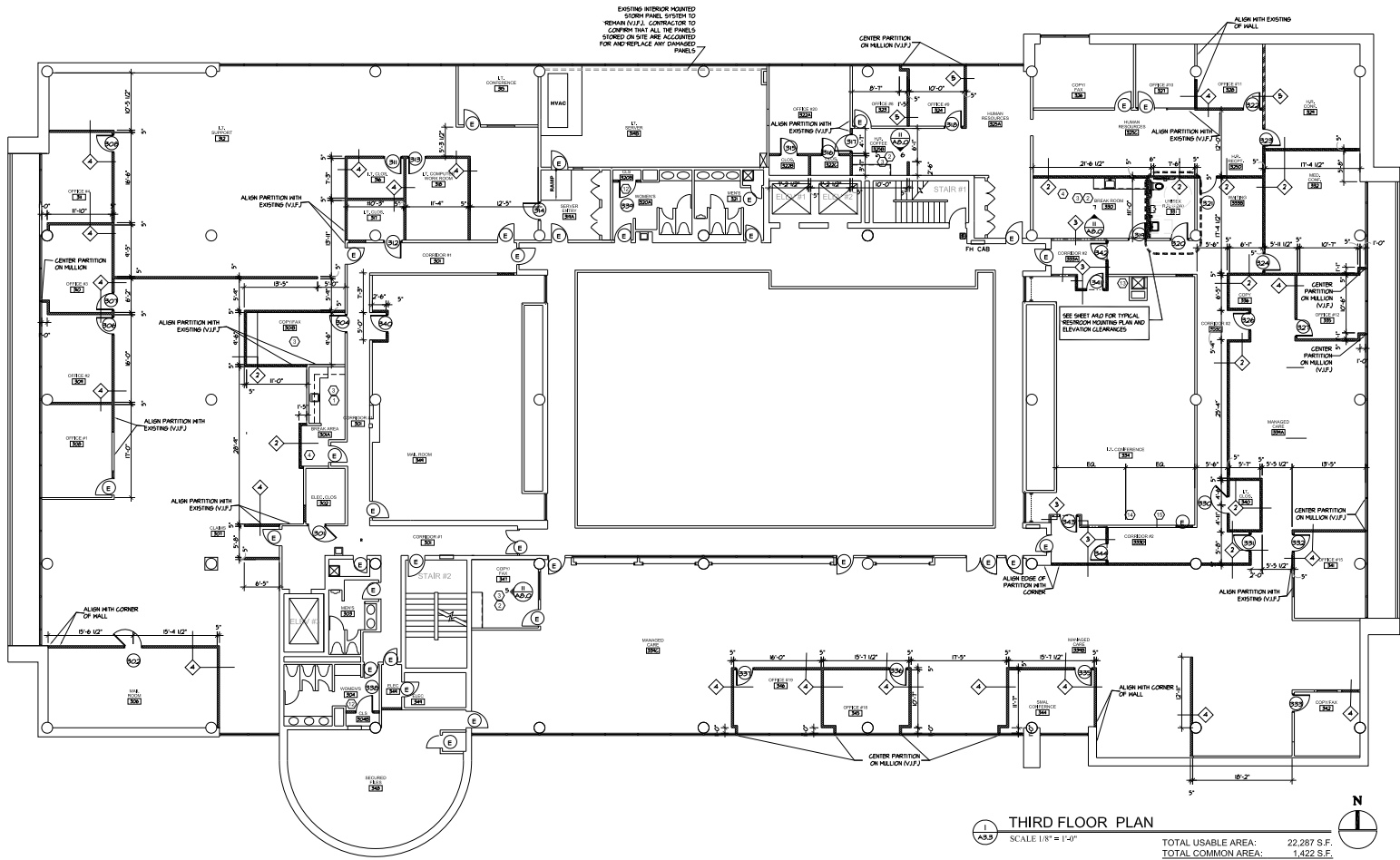
01-13-2012 AS BUILT SET  
**HEALTH CARE DISTRICT HEADQUARTERS**  
 PALM BEACH COUNTY  
 2601 10TH AVENUE NORTH  
 PALM SPRINGS, FLORIDA 33461

**SALTZ MICHLSON ARCHITECTS**  
 1800 Australian Ave. Suite 102  
 Suite 102  
 West Palm Beach, FL 33409  
 (561) 488-3370 Fx. (561) 488-0129  
 www.saltzmichelson.com  
 AA-000287

Charles Michelson AR000976

Project No.: 2010-119  
 Drawn By: tm  
 Checked By:  
 Date: 05-24-10  
 Revisions:





EXISTING INTERIOR MOUNTED  
GLASS PANEL SYSTEM TO  
REMAIN IN PLACE. CONTRACTOR TO  
CONFIRM THAT ALL THE PANELS  
MOUNTED ON THIS ARE ACCURATE  
FOR AND REPLACE ANY DAMAGED  
PANELS

NOTES:  
1. REFER TO SHEET A-3.2 FOR DOOR SCHEDULE  
2. REFER TO SHEET A-3.1 FOR FLOOR SCHEDULE  
3. REFER TO SHEET A-3.1 FOR PARTITION TYPES AND DETAILS

**PARTITION LEGEND:**

[Symbol]	DENOTES EXISTING PARTITION (V/J/F)
[Symbol]	DENOTES PARTITION WALLS W/ GYP. BOARD ON SIDES TO BOTH OF HOOP BEG. ABOVE.
[Symbol]	DENOTES ONE-HOUR RATED PARTITION TO BOTTOM OF STRUCTURE ABOVE.
[Symbol]	DENOTES TYPICAL INTERIOR PARTITION GYP. BOARD ON MIL. STUDS FRAMED TO THE BOTTOM OF THE FINISHED CEILING.
[Symbol]	DENOTES TYPICAL INTERIOR PARTITION GYP. BOARD ON MIL. STUDS FRAMED 6" ABOVE FINISHED CEILING.

**FLOOR PLAN LEGEND:**

TYPE	DESCRIPTION
[Symbol]	SHEET GET ON SECTION
[Symbol]	PARTITION TYPE NUMBER
[Symbol]	INTERIOR ELEVATION
[Symbol]	SPACE NAME ROOM NO.
[Symbol]	DOOR NO.
[Symbol]	WALL TAG
[Symbol]	NEW FIRE EXTINGUISHER CABINET - SEE DETAIL DWG.
[Symbol]	DETAIL NO.
[Symbol]	SHEET GET ON
[Symbol]	KEY PLAN NOTES SYMBOL

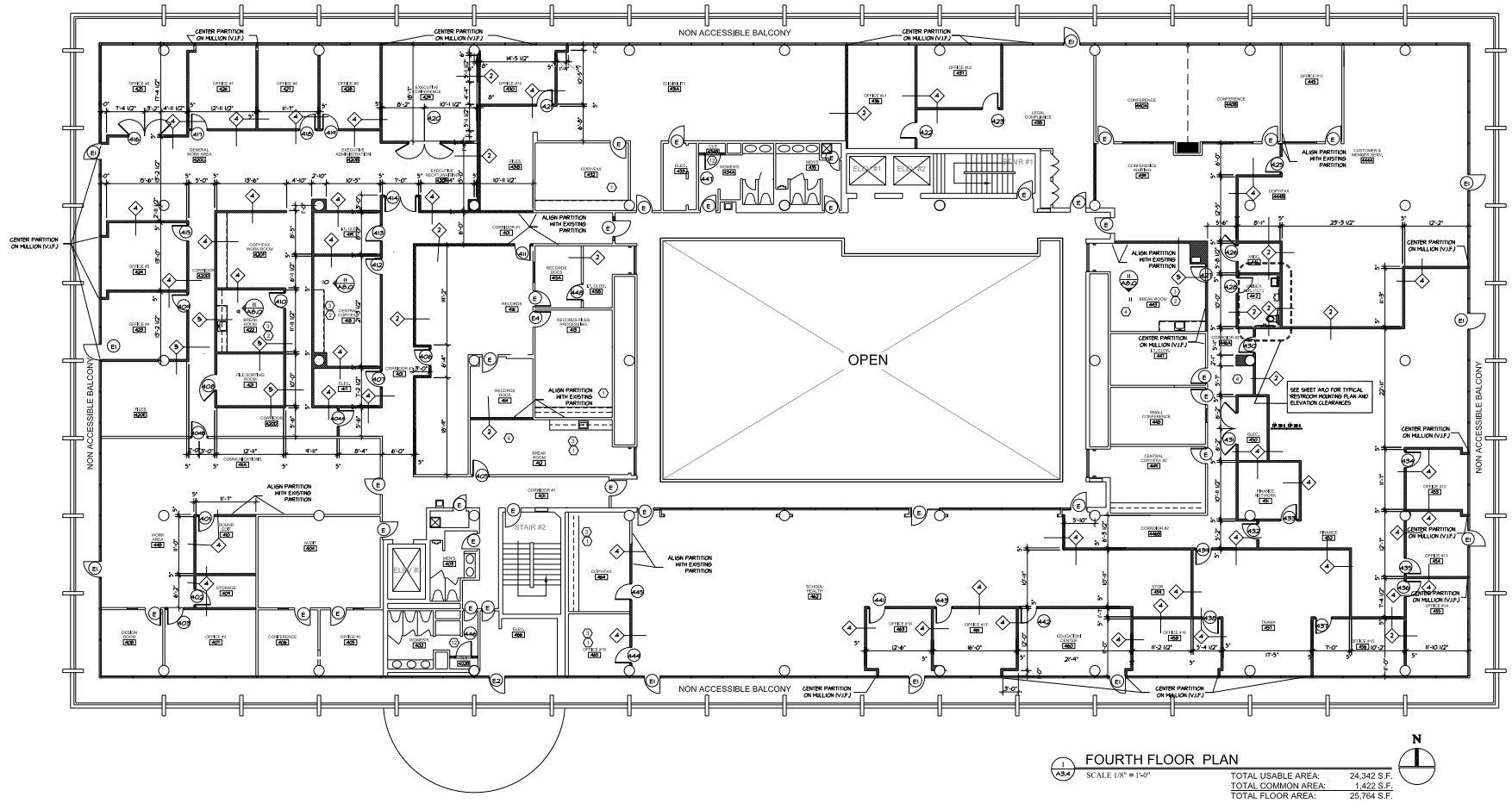
- KEY PLAN NOTES:**
- EXISTING MILLWORK.
  - NEW MILLWORK. SEE SHEET A-3.2.
  - EXTERIOR NOT INCLUDED (N/C).
  - BOTTLED WATER AND DISPENSER BY OTHERS.
  - RELOCATED MILLWORK. SEE FLOOR PLAN PLANS.
  - CONTRACT TO APPLY 2" TYPE OPSILON-117 MIL. FINISH AT 4" O.C. WITH R-5 RIGID INSULATION AT INTERIOR FACE OF EXTERIOR WALL AND FINISH AND REPAIR GYP/SM AT OTHER WALLS AS REQUIRED.
  - NEW IMPACT RATED STOREFRONT WINDOW SYSTEM.
  - NEW HOP SINK.
  - NEW TEMPERED INTERIOR GLAZING SYSTEM.
  - EXISTING COULPS TO BE FINISHED WITH METAL FINISHING AND GYP/SM.
  - EXISTING DECORATIVE FLOOR FINISH TO REMAIN.
  - NEW STORAGE CLOSET WITH SHELVING.
  - EXISTING DRAIN-WATER TO BE DISCONNECTED AND SEALED OFF.
  - 4" W/ O.C. LONG BY 5" O.C. HIGH BRASS RITE PROTECTION SURFACE DRY BRASS BOARD.
  - CONTRACTOR SHALL MAINTAIN A LEVEL 4" WALL FINISH AT THIS WALL FOR PROTECTION SURFACE TO BE APPLIED (V/J/F).

**THIRD FLOOR PLAN**  
SCALE 1/8" = 1'-0"  
TOTAL USABLE AREA: 22,287 S.F.  
TOTAL COMMON AREA: 1,422 S.F.  
TOTAL FLOOR AREA: 23,709 S.F.

01-13-2012 AS BUILT SET  
**HEALTH CARE DISTRICT HEADQUARTERS**  
PALM BEACH COUNTY  
2601 10TH AVENUE NORTH  
PALM SPRINGS, FLORIDA 33461

**SALTZ MICHELSON ARCHITECTS**  
1800 Australian Ave. Suite 102  
West Palm Beach, FL 33409  
(561) 688-1970 Fx: (561) 688-0129  
www.saltzmichelson.com  
AA-0002897

Charles Michelson AR0009976  
Project No.: 2010-119  
Drawn By: tas  
Checked By:  
Date: 05-26-10  
Revisions:



**FOURTH FLOOR PLAN**  
 SCALE 1/8" = 1'-0"  
 TOTAL USABLE AREA: 24,342 S.F.  
 TOTAL COMMON AREA: 1,422 S.F.  
 TOTAL FLOOR AREA: 25,764 S.F.

**NOTES:**  
 1. REFER TO SHEET A-3.3 FOR DOOR SCHEDULE  
 2. REFER TO SHEET A-3.3 FOR FINISH SCHEDULE  
 3. REFER TO SHEET A-3.3 FOR PARTITION TYPES AND DETAILS

**PARTITION LEGEND:**

	DENOTES EXISTING PARTITION (V.J.F.)
	DENOTES PARTITION WALLS W/ GYP BOARD ON STUDS TO BOTTM. OF ROOF DECK ABOVE.
	DENOTES ONE-HOUR RATED PARTITION TO BOTTOM OF STRUCTURE ABOVE.
	DENOTES TYPICAL INTERIOR PARTITION (GYP BOARD ON MLL STUDS FRAMED TO BOTTOM OF FINISHED CEILING)
	DENOTES TYPICAL INTERIOR PARTITION (GYP BOARD ON MLL STUDS FRAMED TO ABOVE FINISHED CEILING)

**FLOOR PLAN LEGEND**

TYPE	DESCRIPTION
	SECTION NO.
	SHEET CUT ON
	PARTITION TYPE NUMBER
	INTERIOR ELEVATION
	SPACE NAME ROOM NO.
	DOOR NO.
	WINDOW TAG
	NEW FIRE EXTINGUISHER CABINET - SEE DETAIL B-550
	DETAIL NO.
	SHEET CUT ON
	KEY PLAN NOTES SYMBOL

**KEY PLAN NOTES:**

- EXISTING MILLWORK.
- NEW MILLWORK. SEE SHEET A-3.0.
- EQUIPMENT NOT INCLUDED (N.I.C.).
- BOTTLED WATER AND DISPENSER BY OTHERS.
- RELOCATED MILLWORK (SEE DEMOLITION PLANS).
- CONTRACT TO APPLY 3" TYPE GYPSUM ON 1/2" MLL FIBERS AT 8" O.C. WITH 45-Degree INSULATION AT INTERIOR FACE OF EXISTING WALL AND PATCH AND REPAIR SYSTEM AT OTHER WALLS AS REQUIRED.
- NEW IMPACT-RATED STOREFRONT WINDOW SYSTEM.
- NEW HOP SINK.
- NEW TEMPERED INTERIOR GLAZING SYSTEM.
- EXISTING COLUMNS TO BE FINISHED WITH METAL FRAMING AND GYPSUM.
- EXISTING DECORATIVE FLOOR FINISH TO REMAIN.
- NEW STORAGE CLOSET WITH SHELVING.