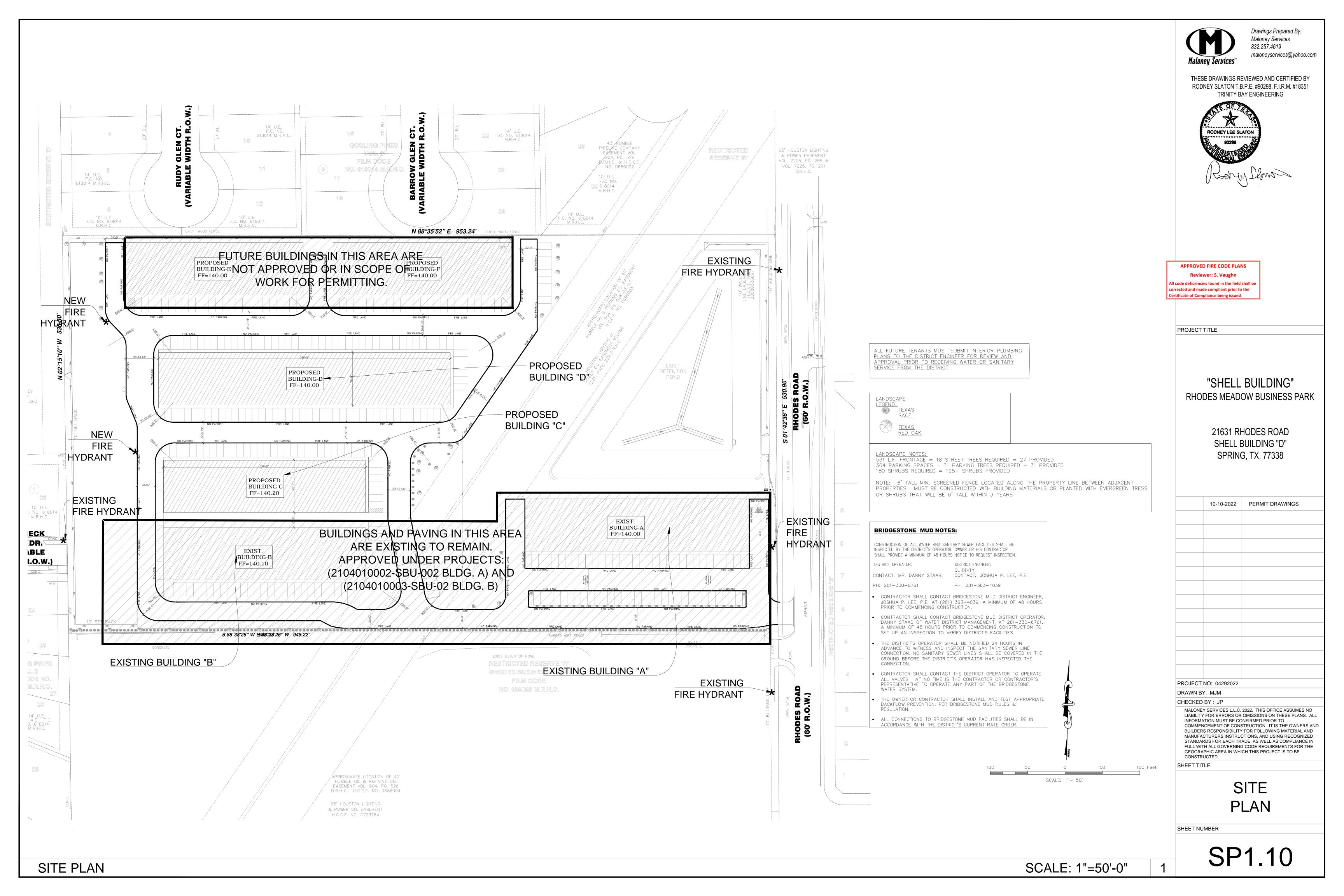
1 BUILDING PLANNING & DESCRIPTION	3 MEANS OF EGRESS CHAPTER 10 IBC 2018	5 FIRE-RESISTANCE RATE CONSTRUCTION CHAPTER 6, 7 AND 10 IBC 2018	9 STORAGE: STANDARD & HIGH PILED CHAPTER 32 IFC 2018 (REFER TO REGULATIONS FOR REQUIREMENT FOR CONSULTANT ENGINEER SECTION 3201.5 HC AMENDMENTS)
NEW CONSTRUCTION SHELL BUILDING	MEANS OF EGRESS # OF REQUIRED EXITS # OF EXITS PROVIDED SHEET #	SHOW DETAILS OF FIRE WALLS OR FIRE BARRIERS MEETING HORIZONTAL WALLS AND ROOF DECKS (SEE SECTION 706.5, 706.6 & 707.5 IBC 2018)	YES NO PRODUCTS BEING STORED:
LEASE SPACE BUILD-OUT (LSBO) CHANGE OF OCCUPANCY	STAIRWAYS (PER FLOOR) 0 A1.05	FIRE-RESISTANCE RATING REQUIREMENTS (TABLES 601 & 602 IBC 2018)	YES NO STORAGE PACKAGING (I.E. PALLETS, RACKS, SOLID PILED, DRUMS, CARDBOARD BOXES, WRAPPED IN PLASTIC, ETC.):
SUBSTANTIAL IMPROVEMENT OTHER:	EGRESS @ 1ST FL OR LSBO 1 2 A1.05		YES NO MAXIMUM HEIGHT OF COMMODITY:
MIXED OCCUPANCY	(SECTION 1005.3 IBC 2018)	BUILDING ELEMENTS HOURS HOURS UL OR IBC STANDARD USED & PROVIDED DESIGN DETAIL SHOWN ON	YES NO ***THIS BUILDING IS DESIGNED FOR THE INTENT OF HIGH PILED STORAGE. IF YES, THEN PROVIDE
SINGLE OCCUPANCY SEPARATED USE NON-SEPARATED USE	PANIC HARDWARE ON EXIT DOORS? YES NO (SECTION 1008.1.9 IBC 2018)	STRUCTURAL FRAME	HIGH PILED STORAGE FORM (http://www.eng.hctx.net/Portals/23/Publications/FC_high_piled_storage_form.pdf).
(SECTION 508.3 OR 508.4 IBC 2018)	STAIRWAYS (SECTION 1011 IBC 2018)	EXTERIOR BEARING WALLS	YES NO FIRE DEPARTMENT ACCESS DOORS YES NO HIGH PILED STORAGE RACK LAYOUT/ELEVATIONS, CODE ANALYSIS, ETC. SHOWN ON:
TYPE OF CONSTRUCTION: (CHAPTER 6 IBC 2018)	MINIMUM CLEAR WIDTH SHOWN ON: NONE (EACH STAIRWELL) EGRESS WIDTHS ARE SHOWN ON: A1.05	EXTERIOR NON-BEARING WALLS	TES NO INGIT FILED STORAGE RACK LATOUT/ELEVATIONS, CODE ANALTSIS, ETC. SHOWN ON
HEIGHT LIMITATION: (2) STORIES AREA LIMITATION: 26,000 S.F. (TABLE 504.3 IBC 2018)	ACCESSIBLE AREAS OF REFUGE & 2-WAY COMMUNICATIONS SHOWN ON: NONE	INTERIOR BEARING WALLS	10 HAZARDOUS MATERIALS
FRONTAGE INCREASE CALCULATIONS ARE SHOWN ON SHEET: 0 INCREASE	(SECTION 1009.3 TO 1009.8 IBC 2018)	INTERIOR NON-BEARING WALLS 3 HR. 3 HR. UL U419 ON A1.05	CHAPTER 50 IFC 2018
BUILDING VALUATION BUILDING NUMBER:4 OF6	EXIT SIGNS/EGRESS ILLUMINATION (SECTION 1008 & 1013 IBC 2018)	FLOOR CONSTRUCTION	
ADDRESS: 21631 RHODES ROAD "BUILDING (D)"	REQUIRED AND SHOWN ON: A1.05 (HIGHLIGHT ON PLANS)	ROOF CONSTRUCTION	YES NO DOES THE BUILDING HAVE HAZARDOUS MATERIAL USE OR STORAGE? IF YES, THEN PROVIDE ALL HMIS SUMMARY AND MSDS REPORTS.
CITY, ST: SPRING, TEXAS ZIP CODE: 77388 SUITE:	EXTERIOR MEANS OF EGRESS LIGHTING PROVIDED? YES (SECTION 1008 IBC 2018)	STAIRWELLS (SECTION 1023)	YES NO IF YES, DO THE QUANTITIES EXCEED THE MAXIMUM ALLOWABLE PER IFC 2018?
CALL CENTERPOINT ENERGY AHEAD OF TIME, AT 713-207-4460, TO OBTAIN AN ADDRESS	EXIT TRAVEL DISTANCE (TABLE 1017.2 IBC 2018)	ELEVATOR SHAFTS (SECTION 713)	IF YES, YOU WILL BE REQUIRED TO PROVIDE THE FOLLOWING:
HCAD #. OR PROPERTY TAX #: _0420410000024 (13 DIGITS) (http://www.hcad.org)	OCCUPANCY TYPE MAX TRAVEL DISTANCE PROVIDE TRAVEL SHEET #	CORRIDORS (SECTION 1020)	CODE ANALYSIS BY FIRE PROTECTION ENGINEER TO SHOW COMPLIANCE WITH IFC 2018. CODES AND REFERENCED STANDARDS SHOWN ON SHEET(S)
BUILDING LOCATED IN FLOODPLAIN: YES NO	U 300 L.F. 75 A1.05	FIRE RATED DOORS (TABLE 716.1(2)) DEMISING/PARTITION WALL (SECTION 708) 1 HR. 1 HR. UL U419 ON A1.05	
GROSS SQUARE FOOTAGE: 27,300 #OF FLOORS:1 HEIGHT: 18'	300 L.1 . 75 A1.00	DEMISING/PARTITION WALL (SECTION 708) 1 HR. 1 HR. UL U419 ON A1.05 FIRE BARRIER (SECTION 707)	11 SPECIAL CONDITIONS
ESTIMATED COST OF CONSTRUCTION: \$ 1,417,500 H.C \$2,047,500.00		FIRE WALL (SECTION 706) 2 HR. 2 HR. BXUV.U906, ANSI/ UL 263	PROPERTIES WITH FENCE AND GATES SHALL PROVIDE A 911 KEY BOX AT ENTRY GATE
T.D.L.R #: TABS202101411 (REQUIRED FOR CONSTRUCTION OVER \$50,000) TEXAS DEPARTMENT OF LICENSING AND REGULATIONS	ELEVATORS	DRAFTSTOPS: YES, SHOWN ON: NO (SPRINKLED ATTIC) N/A (SECTION 718.4)	YES NO ATRIUM(S) PER 404 IBC 2018? YES NO PAINT SPRAY BOOTHS, COATINGS,
(https://www.tdlr.texas.gov/ab/ab.htm)	NEW EXISTING ELEVATOR KEYBOX LOCATED IN LOBBY? YES NO NO		YES NO HIGH RISE BLDG PER 403 IBC 2018? DIPPING OR INDUSTRIAL OVENS USED PER 2404 2405 2406 AND CHAPTER 30 IEC
TELEPHONE: (512) 463-6599 TOLL FREE (IN TEXAS): 800-803-9202 FAX: (512) 475-2871 RELAY TEXAS-TDD: 800-735-2989	(MUST BE WITHIN 20' OF THE CALL BUTTON)	(TABLE 705.8, SECTION 706.8 & 707.6 IBC 2018)	YES NO ANY FUEL STORAGE TANKS PER 5704 JEC 2018?
SHELL BUILDING PERMIT #: CIVIL PROJECT #: _2205170167	4 FIRE PROTECTION & LIFE SAFETY SYS.	FIRE SEPARATION DISTANCE (FEET) 100' + 100' + 50' + 100' +	YES NO CRITICAL FACILITIES (HARRIS COUNTY HEALTH DEPARTMENT APPROVAL? REQUIRED FOR ALL ESTABLISHMENTS
PUBLIC UTILITIES: YES NO	CHAPTER 9 IBC & IFC 2018	(SECTION 602 IBC 2018) NORTH SOUTH EAST WEST	REGULATIONS AND AMENDMENTS) THAT SERVE/PREPARE FOOD AND
OSSF: YES NO PROJECT/PERMIT #: 20070010095 AND 2208310054		ROOF COVERING CLASSIFICATION PROVIDED: A B C	YES NO OTHER: BEVERAGES FOR THE PUBLIC OR HAVE REFRIGERATED FOOD STORAGE.
	ALL FIRE PROTECTION PLANS SHALL BE SUBMITTED FOR REVIEW AFTER BUILDING PERMIT HAS BEEN ISSUED (I.E. UNDERGROUND FIRE LINE, SPRINKLER SYSTEM, FIRE ALARM SYSTEM,	(TABLE 1505.1 IBC 2018)	
LIST BELOW THE PURPOSE/USE OF THE BUILDING OR AREA BEING REVIEWED. INCLUDE DETAILS ON THE PRODUCTS/MATERIALS BEING STORED/FABRICATED AND NOTE HOW THEY	STANDPIPE, FIRE PUMP ROOM, AND FIRE PROTECTION WATER SUPPLY SYSTEMS)		COMMENTE Q NOTES
ARE BEING PACKAGED.	AUTOMATIC FIRE SPRINKLER SYSTEM/ALTERNATIVE AUTOMATIC FIRE EXTINGUISHING SYSTEM	6 WATER SUPPLY (FOR FIREFIGHTING)	COMMENTS & NOTES
	ALL SPRINKLERS SHALL COMPLY WITH MONITORING AND OCCUPANT	O VVAILA SULLI (L'ON LINELIUM) CHAPTER 5, APPENDIX B & C IFC 2018	
PURPOSED OF BUILDING IS SHELL BUILDING WITH FIRE RATED WALLS.	NOTIFICATION PER 903.4.2.1 (SECTION 903.4 IFC 2018)	CHATEKS, ATTENDIX B & C II C 2010	
EACH TENANT WILL NEED TO APPLY FOR NEW OCCUPANCY PERMITTING.	PROVIDED AS NOTED ON: NOT REQUIRED PER SECTION 903	27,300 GROSS SIZE OF BUILDING IN SQUARE FEET (INCLUDE ALL OVERHANGS UNDER ROOF)	
BUILDING INTEND TO USE AS FUTURE S2/B OCCUPANCY	SYSTEM PROVIDED: SPRINKLER HEAD PROVIDED: FIRE PUMP PROVIDED:	PUBLIC WATER SUPPLY WITH FIRE HYDRANTS	
	☐ NFPA 13 ☐ STANDARD ☐ YES	(FOR PROPOSED AND EXISTING FIRE HYDRANTS ONLY)	
	☐ NFPA 13R ☐ ELO ☐ NO	NAME OF THE MUNICIPAL UTILITY DISTRICT: BRIDGESTONE MUD	
2 OCCUPANCY TYPE AND LOAD	NFPA 13D ESFR OTHER: QUICK RESPONSE	NUMBER OF HYDRANTS WITHIN 400 FT (NON-SPRINKLED) OR 600 FT (SPRINKLED) OF BUILDING: 2 , SHOWN ON: SP1.10	A COPY OF THESE APPROVED CONSTRUCTION PLANS MUST BE KEPT AT PROJECT SITE FOR
CHAPTER 2, 3 & TABLE 1004.5 IBC 2018		REQUIRED GPM: 3,500 DURATION: 3 HRS (TABLE B105.1 IFC 2018)	THE FINAL INSPECTION OF THE BUILDING
OCCUPANCY CLASSIFICATION TYPES	FIRE DEPARTMENT ACCESS TO SPRINKLER CONTROLS: SPRINKLER RISER ROOM OR POST INDICATOR VALVE SHOWN ON:	75% REDUCTION? YES NO (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	PROJECT NUMBER: 2206200109 IFC 2018 REVIEWER'S STAMP
A-1 A-2 A-3 A-4 A-5 B E	(SECTION 901.4.6 HC AMENDMENTS IFC 2018)	WATER SOURCE FOR RURAL AREAS WITHOUT FIRE HYDRANTS (COMPLETE THE FIRE FLOW CALCULATOR)	
F-1 F-2 H-1 H-2 H-3 H-4 H-5	FDC SHOWN ON: (FDC SHALL COMPLY WITH SECTION 912 IFC 2018)	(COMPLETE THE FIRE FLOW CALCULATOR) ***DRY HYDRANT UNDERGROUND STORAGE	THE PROJECT KNOWN AS (MUST BE THE NAME OF BUSINESS/DBA IF BUILDING IS FOR A SPECIFIC COMPANY) APPROVED FIRE CODE IS
I-1 I-2 I-3 I-4 M R-1 R-2	SUPPRESSION SYSTEM PROVIDED (SECTION 904 IFC 2018)	ABOVEGROUND STORAGE OTHER:	RHODES MEADOW BUSINESS PARK "BUILDING "D" Reviewer: S. Vaugi
R-3 R-4 S-1 S-2 U	REQUIRED AND SHOWN ON:	DESIGN SPECIFICATIONS AND LOCATIONS SHOULD MEET MINIMUM REQUIRED WATER SUPPLY FROM THE	All code deficiencies found in the
RESIDENTIAL BOARD AND CARE OCCUPANCIES (REFER TO THE HARRIS COUNTY CODEWORD OF THE	NOT REQUIRED	FIRE FLOW CALCULATOR NFPA 1142 (AVAILABLE ON THE WEBSITE).	corrected and made compliant pr ———————————————————————————————————
SAME NAME AND ALSO COMPLETE THE RESIDENTIAL BOARD AND CARE CERTIFICATION FORM		***SUBMIT DRY HYDRANT DESIGN PLANS & CALCULATIONS TO FIRE PROTECTION FOR REVIEW & APPROVAL (AVAILABLE ON THE WEBSITE)	WAS ACCEPTED BY HARRIS COUNTY FOR THE PURPOSES LISTED BELOW:
RBC-8A RBC-8B RBC-16A RBC-16B	STANDPIPE SYSTEM & HOSE CONNECTIONS (SECTION 905 IFC 2018)	AFROVAL (AVAILABLE ON THE WEBSITE)	HCED REVIEW:
BREAK DOWN AREAS AND OCCUPANT LOADS PER FLOOR	(I.E. IN STAIRWAYS, STAGES, MALLS) PROVIDED AS NOTED ON:, TYPE OF SYSTEM PROVIDED: (CLASS I, II OR III)	7 FIRE LANE ACCESS	REVIEWER'S SIGNATURE BLOCK
OCCUPANCY SQUADE SEDED DESIGN	NOT REQUIRED PER SECTION 905	CHAPTER 5 & APPENDIX D IFC 2018	PERMIT OFFICE
CLASSIFICATION SPECIFIC USE SQUARE STEER DESIGN OCCUPANTS	PORTABLE FIRE EXTINGUISHERS (SECTION 906 IFC 2018)		THE PROJECT WAS REVIEWED, HOWEVER, THIS DOES NOT MEAN THE
U UNDEFINED SHELL SPACE (S2) 27,300 0 0	PROVIDED AS NOTED ON: A1.05 , NUMBER PROVIDED: 13 (HIGHLIGHT ON PLANS)	FIRE LANE LAYOUT PLAN, WHICH SHALL INCLUDE THE SITE PLAN, THE FIRE LANE & FIRE HYDRANTS, IS	ENTIRE PROJECT, INCLUDING ALL SUPPORTING DATA AND
		SHOWN ON: <u>SP1.10, CS1</u> . (<i>HIGHLIGHT THE FIRE HYDRANT LOCATIONS ON THE PLANS</i>) AERIAL ACCESS LAYOUT, FOR BUILDINGS OVER 30 FT, IS SHOWN ON: N/A	ENTIRE PROJECT, INCLUDING ALL SUPPORTING DATA AND CALCULATIONS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. THESE DRAWINGS ARE SIGNED, DATED AND SEALED BY A PROFESSIONAL ENGINEER / ARCHITECT LICENSED TO PRACTICE IN
	FIRE ALARM & DETECTION SYSTEMS (SECTION 907 & HC AMENDMENTS IFC 2018) FIRE ALARM SYSTEM (DEFERRED SUBMITTAL) DEDICATED FUNCTION (SPRINKLER	FIRE LANES WILL BE APPROVED CONCEPTUALLY DURING THE CIVIL REVIEW PROCESS. HOWEVER, THE	PROFESSIONAL ENGINEER / ARCHITECT LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH THEREFORE CONVEYS THE Darrell Hahn, P.E., C.F.M. Manager - Harris County Permits
	MONITORING, ELEVATOR RECALL,	FIRE CODE PLAN REVIEWER MAY CHANGE THE FIRE LANE LAYOUT BASED ON THE BUILDING SPECIFICATIONS.	PROFESSIONAL'S RESPONSIBILITY AND ACCOUNTABILITY. THIS Compliance with federal, state and local laws, codes,
	PRE-ACTION, EMERGENCY ALARM, SMOKE CONTROL)	PROVIDING A REMOTE FIRE HOSE CONNECTION TO COMPLY WITH FIRE LANE HOSE COVERAGE. SUBMIT	WITH ANY OTHER LEGALLY ADOPTED REGULATION OR ORDINANCE
	OTHER:	PLANS TO FIRE PROTECTION FOR REVIEW (SECTION 918.1 HC AMENDMENTS)	RELATED TO LAND DEVELOPMENT. 2022-10-14 07:25:52
	HVAC & AIR DISTRIBUTION SYSTEM CONTROLS (SECTION 606 IMC 2018)		
	SMOKE DETECTORS PROVIDED TO SHUT DOWN UNITS OVER 2,000 CFM PROVIDED ON:	8 INTERIOR FINISH	CERTIFICATION
	NO HVAC UNITS OVER 2,000 CFM	CHAPTER 8 & TABLE 803.13 IBC 2018	<u>CLRTII ICITION</u>
	FIRE/SMOKE DAMPERS IN THE BUILDING SHOWN ON: NO FIRE/SMOKE DAMPERS IN THE BUILDING	OCCUPANCY EXIT ENCLOSURES AND GODDING ROOMS AND ENCLOSED GUIDET #	I, RODNEY SLATON T.B.P.E. # 90298 , A LICENSED PROFESSIONAL
		GROUP EXIT ENCLOSURES AND CORRIDORS ROOMS AND ENCLOSED SHEET #	ENGINEER/ARCHITECT IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THE
	SMOKE CONTROL SYSTEMS (SECTION 909 IFC 2018)(I.E. FOR HIGH RISE, ATRIUMS OR STAIRWAY PRESSURIZATION)	U B B C A1.05, A1.10	INFORMATION PRESENTED ON THIS SHEET IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AM/AM NOT A DESIGNER OF RECORD FOR THIS PROJECT.
	PROVIDED AS NOTED ON:		THE PROJECT CONSISTS OF DRAWING SHEETS CS1 THROUGH SP1.10 / ALL
	NOT REQUIRED PER SECTION 909		ENGINEERING FIRM TRINITY BAY ENGINEERING PM# 18351
	SMOKE & HEAT VENTILATION (SECTION 910 IFC 2018)		
	CALCULATIONS PROVIDED AS NOTED ON:		RODNEY LEE SLATON
	NOT REQUIRED PER SECTION 910		SISTE SEE
TOTAL 27,300 0	NOTE: WHERE AREAS OF THE BUILDING ARE EQUIPPED WITH EARLY SUPPRESSION FAST-RESPONSE (ESFR) SPRINKLERS, AUTOMATIC SMOKE AND HEAT VENTS SHALL BE INSTALLED PER		10/06/2022
	MANUFACTURERS SPECIFICATIONS, MEETING LOCAL JURISDICTION REQUIREMENTS.		SEAL SIGNATURE SIGNATURE DATE
		REVISIONS (DO NOT USE THIS BLOCK UNTIL AF	TER PERMIT IS ISSUED)
TIADDIA AATSIMTI /TT		DATE SHEET NO.(S)	DESCRIPTION REVIEWER COUNTY P.E. FIRE CODI
HARRIS COUNTY (IF	(' ')() X		ואר אווי אין אין אין אין אין אין אין אין אין אי
			REVIEW

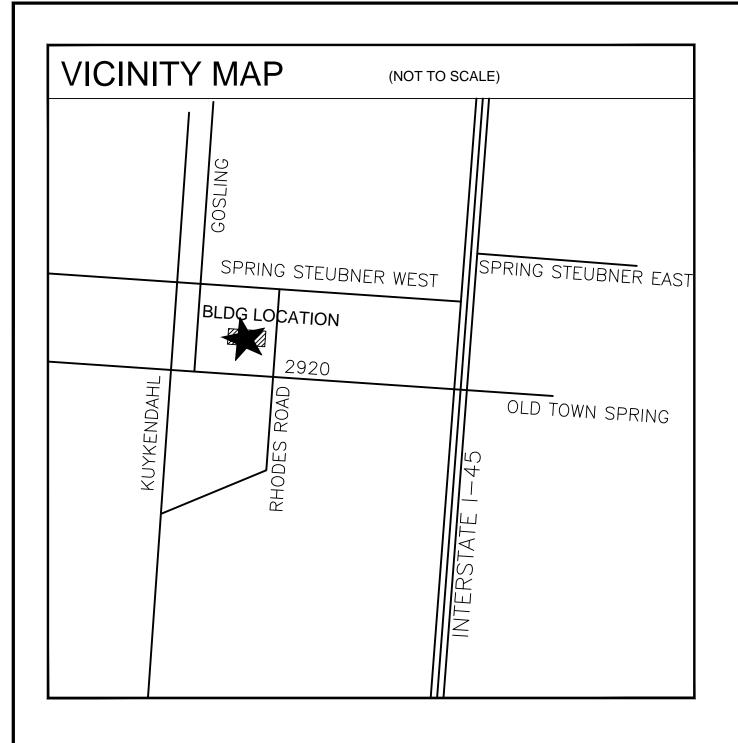
SHEET NUMBER

_____ OF ____

FIRE CODE DESIGN AND COMPLIANCE REVIEW SHEET VERSION 8.0 (SEP 2019)

(http://www.eng.hctx.net/permits/Fire/Fire-Code/Fire-Code-Review)





AREA MAP / FIRE LANE LOCATION

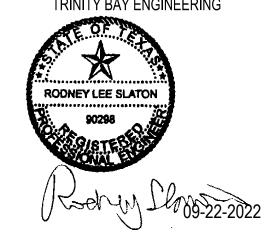
PROJECT SCOPE
CREATE NEW SHELL BUILDING FOR SPECULATIVE LEASE SPACES.

KEY MAP 491N

Malonou Socuiros^M

Drawings Prepared By: Maloney Services 832.257.4619 maloneyservices@yahoo.com

THESE DRAWINGS REVIEWED AND CERTIFIED BY RODNEY SLATON T.B.P.E. #90298, F.I.R.M. #18351 TRINITY BAY ENGINEERING



RESPONDING FIRE DEPT: SPRING VOLUNTEER FIRE DEPT #75

LOCATED AT 3915 FM 2920 SPRING TEXAS 77388

BUILDING CODES:	
BUILDING	2018 IBC
PLUMBING	2018 UPC
ELECTRICAL	2018 NEC
MECHANICAL	2018 UMC
ACCESSIBLITY	ADA AND ANSI 117.1 1998
FIRE	2018 IFC
ENERGY	2015 INT'L ENERGY CONSERVATION CODE
ENERGY	2015 HOUSTON COMMERCIAL ENERGY CONSERVATION COL
OCCUPANCY CLASSIFICATION	ON U - NON SEPARATED
TYPE OF CONSTRUCTION	IIB
FIRE SPRINKLER SYSTEM	NOT SPRINKLED
27 300 S F 1 STORY PRF-FN	IGINEERED STEEL BUILDING - SHELL ONLY - WITH 3 HR
	EW SHEET FOR OCCUPANCY AND S.F. BREAKDOWN
O THE OODE INEVII	
PROJECT	DATES
PROJECT	DATES
	DATES FOR FIRE CODE REVIEW

INDEX OF DRAWINGS: ARCHITECTURAL CS1 COVER SHEET CS2 SYMBOLS AND ABBREVIATIONS CS3 ACCESSIBILITY STANDARDS A1.05 FLOOR PLAN AND DETAILS A1.10 BUILDING DETAILS A1.10 BUILDING DETAILS SP1.10 SITE PLAN WY FIRE LANE FOR FIRE CODE REVIEW SHEET

"SHELL BUILDING"
RHODES MEADOW BUSINESS PARK

21631 RHODES ROAD
SHELL BUILDING "D"
SPRING, TX. 77338

09-21-2022

APPROVED FIRE CODE PLANS

rected and made compliant prior to the

tificate of Compliance being issued

PROJECT TITLE

ENIEDAI	NOTES

- 1. REMOVE ALL DEBRIS FROM SITE AND DISPOSE CORRECTLY. KEEP SITE CLEAN AND SECURE AT ALL TIMES.
- 2. DURING THE COURSE OF WORK IF THE CONTRACTOR OR ITS AGENTS SHOULD DAMAGE OR DESTROY ANY EXISTING WORK WHICH IS TO REMAIN THEN THE CONTRACTOR SHALL REPAIR OR REPLACE THE DAMAGED WORK TO ITS ORIGINAL CONDITION-AT THE CONTRACTORS EXPENSE.
- 3. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCING THE WORK.
- 4. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH ALL LOCAL CODES, STANDARD SPECIFICATIONS, AND DRAWING REQUIREMENTS.
- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AND TO VERIFY THE EXISTING LOCATION AND DEPTH OF THE UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE.

	PROJECT	NO: 04292022					
	DRAWN BY: MJM						
	CHECKED BY: JP						
	LIABILITY INFORMA	FOR ERRORS OR TION MUST BE CO	OMISSIONS ONFIRMED PE	OFFICE ASSUMES NON THESE PLANS. RIOR TO IT IS THE OWNERS	ALL		

COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

PERMIT DRAWINGS

SHEET TITLE

COVER SHEET

SHEET NUMBER

CS1

DEE: CEDITOR FOR PROCESS M.R.R.C.

DOM: CEDITOR FOR PROCESS M.R.R.C.

NORTH

AREA OF WORK

COVER SHEET

SCALE = AS NOTED 1

GENERAL NOTES

- ALL WORK PERFORMED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING
- BEFORE PERFORMING ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ANY EXISTING OR NEW WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY, ANY DIFFERENCES FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
- OWNER SHALL PAY FOR GENERAL BUILDING PERMIT, IMPACT FEES & UTILITY TAP FEES. G.C. SHALL PAY FOR REMAINING PERMITS & FEES.
- UTILITIES SHALL BE PROVIDED BY CONTRACTOR.
- CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT. FIXTURES, AND SERVICE NECESSARY FOR THE PROPER EXECUTION OF
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUBCONTRACTORS.
- CONTRACTOR SHALL SUPERVISE THE WORK AND COORDINATE ALL
- ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK SHALL BE NEW UNLESS OTHERWISE SPECIFIED AND ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND IN CONFORMANCE WITH THE
- WOOD SHALL BE NEW UNLESS SPECIFIED AS "USED" OR "BARNWOOD. USED WOOD SHALL BE SUPPLIED BY OWNER.
- 10. CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL PERFORM A FINAL CLEAN-UP INSIDE, CLEAN ALL GLASS SURFACES AND LEAVE THE WORK ROOM
- CONTRACTOR SHALL GUARANTEE FOR (1) ONE YEAR THAT ALL OF THE WORK UNDER THE CONTRACT IS FREE FROM FAULTY MATERIALS. WATER-TIGHT, AND LEAK PROOF IN EVERY PARTICULAR AND FREE FROM IMPROPER WORKMANSHIP

ROOM/SPACE NUMBER

(IF MORE THAN ONE DOOR PER

COLOR OR FINISH CODE

(FOR COLOR SCHEDULE, IF USED)

ROOM SUBLETTERS ARE USED)

WINDOW NUMBER

EXTERIOR SECTION

EXTERIOR ELEVATION

INTERIOR SECTION

REFERENCE DRAWING NUMBER

REFERENCE DRAWING NUMBER

REFERENCE DRAWING NUMBER

MATERIAL DESIGNATIONS

POROUS FILL

(STONE OR GRAVEL, SUB BASE, ETC.)

LIGHTWEIGHT CONCRETE

(STRUCTURAL, INSULATING FILL)

STRUCTURAL CONCRETE

(CAST IN PLACE, OR PRECAST)

CONCRETE MASONRY UNITS

CUT STONE, CAST STONE

STRUCTURAL CLAY TILE

(SMALL SCALE STRUCTURAL & SHEET)

WOOD ROUGH (continuous)

INSULATION (LOOSE OR BAT)

CERAMIC TILE (LARGE SCALE)

GYPSUM DRYWALL SYSTEM

PLASTER, SAND, CEMENT,

GYPSUM WALL BOARD

PARTITION OR WALL

WOOD ROUGH (BLOCKING)

INSULATION (RIGID)

GLASS (LARGE SCALE)

ACOUSTICAL TILE

(LARGE SCALE)

TERRAZZO

GLASS BLOCK

(COMMON OR FACE)

EARTH

ROCK

MARBLE

(LARGE SCALE)

PLYWOOD

(LARGE SCALE)

WOOD FINISH

METAL

- 12. CONTRACTOR SHALL PROVIDE PROOF TO OWNER THAT ADEQUATE LIABILITY INSURANCE HAS BEEN OBTAINED.
- 13. CONTRACTOR WILL BE HELD RESPONSIBLE FOR STUDYING DRAWINGS, TO HAVE VISITED THE SITE, AND TO HAVE SATISFIED HIMSELF REGARDING ALL EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING AND NEW WORK. ANY WORK DAMAGE FOR ANY REASON SHALL BE REPLACED AT NO COST TO THE OWNER.
- 15. SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ALLOWED ONLY IF SUCH ITEMS ARE SUBMITTED TO THE OWNER IN A TIMELY MANNER IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION AND COMPLETE SPECIFICATIONS AND DRAWINGS AS REQUIRED COMPARING ITEMS. THE OWNER RESERVES THE RIGHT TO REJECT
- UNLESS NOTED OTHERWISE, REFER TO THE EQUIPMENT DRAWINGS AND SPECIFICATIONS FOR ALL KITCHEN EQUIPMENT WORK. KITCHEN DRAWINGS GOVERN FOR ALL CRITICAL DIMENSIONS.
- 17. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR SHALL INSTALL ROUGH BLOCKING OR WOOD NAILERS DURING THE ROUGH FRAMING STAGE OF CONSTRUCTION AS REQUIRED FOR PROPERLY SECURING WALL CABINETS. SHELVING, LIGHTING AND ELECTRICAL FIXTURES, WALL MOUNTED EQUIPMENT, MILLWORK, APPLIED DECORATIVE TREATMENTS, AND HANDRAIL BRACKETS.
- WHERE DISCREPANCIES EXIST IN DRAWINGS THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY AND IF HE FAILS TO DO SO IT WILL BE HIS RESPONSIBILITY TO CORRECT THE SITUATION REASONABLY AS PER THE OWNER DIRECTION ENLARGED SCALE DRAWINGS /DETAILS SHALL GOVERN OVER SMALLER SCALED DRAWINGS AND SPECIFICATIONS SHALL GOVERN ALL.
- 19A. DRAFT STOPS & FIRE BLOCKING: PROVIDE AS REQUIRED BY GOVERNING AUTHORITIES HAVING JURISDICTION AND LOCATE 2X FIRE BLOCKING AT ALL CONCEALED SPACES WITH COMBUSTIBLE FRAMING. SPACE NO FARTHER THAN 10'-0" APART AND PROVIDE FIRE BLOCKING WHERE WALLS INTERSECT FURR DOWNS AND CEILINGS, AND WHERE INDICATED ON THE DRAWINGS

- 20. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
- 21. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO STUD
- 22. THE SUBMISSION OF A BID OR PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS FAMILIARIZED HIMSELF WITH THE PLANS AND EXISTING CONDITIONS OF THE BUILDING SITE. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR MATERIALS AND LABOR BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED IF THEY COULD HAVE BEEN FORESEEN HAD PROPER EXAMINATION BEEN
- 23. ALL WOOD PLATFORMS ARE TO HAVE FIRE BLOCK SEPARATION WALLS FOR EVERY 100 SQUARE FEET.
- 24. CONTRACTOR TO COORDINATE ALL WORK WITH OWNER'S CONSULTANTS AND OWNER'S CONTRACTORS OF EACH SPECIALTY AREA. SUCH SPECIALTY AREAS SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
 - 1. ART CONSULTING 2. SPECIALTY LIGHTING 3. KITCHEN EQUIPMENT

STANDARD ABBREVIATIONS

SYMBOLS USED AS ABBREVIATIONS

ANGLE

AT SPACING OF

BENCH MARK

CENTER LINE

PERPENDICULAR

WIDTH X HEIGHT

ABOVE FINISHED FLOOR

ACOUSTICAL PLASTER

NUMBER

PLATE

ROUND

SQUARE

ABOVE

ACCESS

ACCESS FLOOR

ACCESS PANEL

ACOUSTICAL TIL

ACRYLIC PLASTIC

AIR CONDITIONING

ANCHOR, ANCHORAGE

ARCHITECT, ARCHITECTURAL

ACOUSTICAL

ADHESIVE

ADJACENT

ADJUSTABLE

AGGREGATE

ALTERNATE

ALUMINUM

ANODIZED

AREA DRAIN

ASPHALT TILE

AUTOMATIC

AWNING BASEMENT

BASE LINE

BELOW

BEVELED

BEYOND

BLOCK

BLOCKING

BRACKET

BUILDING

CABINET

CASEMENT

CAST IRON

CAST STONE

CATCH BASIN

CEILING HEIGHT

CENTIMETER (S)

CERAMIC TILE

CIRCUMFERENCE

COATED GLASS

COMBINATION

COMPARTMENT

COMPOSITION, COMPOSITE

CONCRETE MASONRY UNIT

CONTRACT, CONTRACTOR

CLEAR, CLEARANCE

CHALKBOARD

CHAMFER

CHIMNEY

CLOSURE

CONCRETE

CONNECTION

CONSTRUCTION

CONTROL JOINT

CORNER GUARD

CORRUGATED

COUNTERSINK

CUBIC FOOT

DAMPPROOFING

COUNTER

COURSE

CEILING

CEMENT

CERAMIC

BUILT UP ROOFING

BRASS

BEARING PLATE

BENCH MARK

ASPHALT

ABBREVIATIONS

ANOD ARCH AD

AUTO

BLKG

BRZ BLDG BUR

CEM

CHBD CHAM CHIM

CIRC CLR

COMB COMPT COMPO COMP CONC

CONN CONST CONT CONTR CJT

CTR

CONTRACTOR SHALL COORDINATE ALL DELIVERIES AND ACCESSIBILITY TO BUILDING FOR ALL ITEMS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING' FURNITURE, FIXTURES, EQUIPMENT, ACCESSORIES.

PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL

DEMOLISH, DEMOLITION

DEMOUNTABLE

DIAGONAL

DIAMETER

DISPENSER

DOWNSPOU'

DUMBWAITER

EACH FACE

EACH WAY

EASEMENT

ELEVATOR

EQUIPMENT

ESTIMATE

ESCALATOR

EXPOSED

FIRERROARD

FIBERGI ASS

FINISH. (ED)

FIRE ALARM

FIREPLACE

FIXTURE

FLASHING

FLOAT GLASS

FLOOR, (ING)

FLOW LINE

FLOOR DRAIN

FLOURESCENT

FLUSH JOINT

FOUNDATION

FULL SIZE

FURRED, (ING)

FUTURE GAGE, GAUGE

GALVANIZED

GASKET, (ED)

GLASS BLOCK

GLUED LAMINATE

GRADE, GRADING

GYPSUM DRY WALL

GYPSUM PLASTER

GYPSUM WALLBOAR
HANDICAP

GYPSUM LATH

GYPSUM TILE

HANDRAIL

HARDBOAR

HARDWOOL

HEATING

HEIGHT

HIGH POINT

HOLLOW CORE

HORIZONTAL HOSE BIBB INCANDESCENT

INCINERATOR

INTERIOR

INTERMEDIATE

INCLUDE, (ED), (ING

INSULATE, (ED), (ING)

INSULATING CONCRETÉ

INSIDE DIAMETER

INSULATING GLASS

JANITOR'S CLOSET

GRATE, (ING)

GREENHOUSE

GRAVEL

GENERAL CONTRACT, (OR)

GLAZED CONCRETE MASONRY UNITS

HEATING/VENTILATING/AIR CONDITIONING

FRAME, (D), (ING)

ESC EST

EXH

FOF

FIXT

FLUR

GCMU

GLAM

GRN GRT

GPDW

HTG HVAC

HPT

HCR

HOR

INCIN

INTM

EMERGENCY

ELECTRIC, (AL)

ELECTRICAL PÁNELBOARD

EXPANDED METAL PLATE

ELEVATION (VIEW)

ENCLOSE, (URE)

EXPANSION BOLL

FXPANSION JOINT

FACE OF FINISH

FACE OF STUDS

FACE OF MASONRY

FASTEN, FASTENER

FINISHED FLOOR ELEVATION

FIRE EXTINGUISHER CABINET

FINISHED FLOOR LINE

FIRE EXTINGUISHER

FIRE HOSE STATION

FIRE-RETARDANT

FACE OF CONCRETE

ELECTRIC WATER COOLER

ELEVATION (VERTICAL HEIGHT)

DRAIN TILI

DRAWER

DOVETAIL ANCHOR

DRINKING FOUNTAIN

DOVETAIL ANCHOR SLOT

BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER APPROVALS FROM GOVERNMENTAL AGENCIES OR OTHER REGULATORY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY

- 27. ALL GYPSUM BOARD TO BE 5/8' TYPE 'X' UNLESS NOTED OTHERWISE. IN DAMP AREAS GREEN GYPSUM SHALL BE USED IN LIEU OF GYP. BOARD. IN WET AREAS DUR-ROCK OR CONC./MESH BD. SHALL BE USED.
- ALL WORK ON THIS PROJECT SHALL BE IN CONFORMANCE WITH THE FOLLOWING 1.STATE AND LOCAL BUILDING CODE LATEST EDITION
 - 2.NATIONAL FIRE CODES: BY NFPA 3.NATIONAL ELECTRICAL CODE (LATEST EDITION) 4.NATIONAL PLUMBING CODE 5.NATIONAL SANITATION FOUNDATIONS (N.S.F.) 6.OCCUPATIONAL SAFETY AND HEALTH STANDARDS - 1910, CHAPTER XVII OF TITLE 20, CODE OF FEDERAL REGULATIONS.
- 7.REGULATIONS BY UTILITY COMPANIES SUPPLYING UTILITIES TO THE PROJECT, BOTH TEMPORARILY AND PERMANENTLY. 8.COMPRESSED GAS ASSOCIATION (C.G.A.) 9.FIRE RESISTANCE RATINGS: BY AMERICAN INSURANCE ASSOCIATION

WITHIN ALL CONDITIONED AREAS TO THE OWNER'S SATISFACTION. (UNLESS

CERTIFIED TEST & BALANCE REPORT IS REQUIRED BY LOCAL AUTHORITY.)

30. CONTRACTOR SHALL SUBMIT ALL WOOD STAIN AND SPECIALTY FINISHES SAMPLES TO THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO FINAL FINISHING. IF FAILURE TO SUBMIT SAMPLES FOR APPROVAL THE CONTRACTOR WILL BE RESPONSIBLE FOR REFINISHING TO THE

29. CONTRACTOR TO BALANCE SYSTEM FOR ADEQUATE AIR DISTRIBUTION

- 31. CONTRACTOR SHALL REPAIR WALLS AND EQUIPMENT DAMAGED DURING CONSTRUCTION AS REQUIRED.
- CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS AS STATED IN THE AIA A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 1987 EDITION, UNLESS WRITTEN AUTHORIZATION IS OBTAINED BY THE ARCHITECT.
- 33. PROVIDE GALVANIZED STRAP MASONRY TIES AT 16" O.C. EACH WAY.

NUMBER OF OCCUPANTS PERMITTED FOR EACH ROOM USE.

34. PROVIDE VAPOR RETARDER WITH A MAX. PERF OF ONE

AT THE WARM SIDE OF INSULATION.

ARCHITECT AND OWNER'S SATISFACTION.

NOT USED

JOINT FILLER

KICKPI ATF

KNOCKOUT

LABORATORY

LAMINATE. (ED)

LAMINATED GLÁSS

KITCHEN

LADDER

LAG BOLT

LAVATORY

LEFT HAND

LIGHTWEIGH^{*}

LIMESTONE

LINTEL LIVE LOAD

LOOSE LAID

LOW POINT
MACHINE BOLT

MECHANIC, (AL)

MANUFACTURE, (ER)

MEDIUM DENSITY OVERLAY

MIRROR GLASS (FRAMED)

LOCATE

LOUVER

MANHOLE

MASONRY

MATERIAL

MAXIMUM

MEMBER

MEMBRANE

METER, (S)

MICROWAVE

MINIMUM

MODULAR

MOVABLE

MULLION NAILABLE

NATURAL

NOMINAL

OPAQUE

OPENING OPPOSITE HAND

OVERALL

PARKING

PARTITION PAVE, (D), (ING)

PERIMETER

PLANTER

PLANTING

PLASTIC

PARTICLE BOARD

PERFORATE, (ED)

PLASTIC LAMINATE

POLYVINYL CHLORIDE

PRECAST CONCRETE

PREFABRICATE, (ED)

PREFINISHED

PREMOULDED

PROPERTY LINE

PREFORMED

RADIUS

RAFTFR

RAIL, (ING)

RECESS. (ED)

REFRIGERATOR

REGISTER

REQUIRED

RESILIENT

RETURN RETURN AIR

REVERSE (SIDE)

RIGHT HAND

REFER, (ENCÉ)

REFLECT, (ED), (IVE), (OR)

REINFORCED CONCRETÉ PIPE

REVISE, (S), RÉVISE, (ED)

REINFORCE, (ED), (ING)

PREM

REM

REQ'D

PORTLAND CEMENT PLASTER

POUNDS PER CUBIC FOOT

POUNDS PER LINEAR FOOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

PORCELAIN ENAME

PLATE PLATE GLASS

PLYWOOD

OVERHEAD PAINT, (ED

PANEL, (ING) PANIC BAR

ORNAMENTAL

OUTSIDE DIAMETER

PAPER TOWEL DISPENSE

PAPER TOWEL RECEPTOR

NORTH

NOM

MILLIMETER. (S)

MISCELLANEOUS

MOP RECEPTOR

MOLDING, MOULDING

MOUNT, (ED), (ING)

NOISE REDUCTION

NOT IN CONTRACT

NOT TO SCALE NUMBER ON CENTER, (S

LAYOUT

LENGTH

ANY ROOM THAT IS USED FOR AN ASSEMBLY PURPOSE WHERE FIXED SEATS ARE NOT INSTALLED SHALL HAVE THE CAPACITY OF THE ROOM POSTED IN A CONSPICUOUS PLACE ON AN APPROVED SIGN NEAR THE MAIN EXIT OR

EXIT-ACCESS DOORWAY FROM THE ROOM. SUCH SIGNS SHALL INDICATE THE

ROK

SCH SCN SCUP SNT

RIGHT OF WAY

ROD AND SHELF

ROUGH OPENING

RUBBER BASE

RUBBER TILE

SCHEDULE

SCUPPER

SECTION

SERVICE YARD

SHEATH, (ING)

SHEET GLASS

SHUTTER, (S

SIMILAR

SKYLIGHT

SLEEVE

SOLDIER

SOLID CORE

SOUNDPROOF

SPFAKER

SPECIAL

SQUARE

STATION

STORAGE

STUCCO

SUBFLOOR

SIDE YARD

SYNTHETIC

SYSTEM TACKBOARD

TELEPHONE

TELEVISION

TERRAZZO

TEMPERED GLASS

TO BE RELOCATED

TOILET PARTITION

TONGUE AND GROOVE

TOP OF CONCRETE SLAB

OLERANCE

TOP OF CURB

TOP OF PLATE

TOP OF SUBFLOOR

TOP OF JOIST

O REMAIN

TOWEL BAR

TURNBUCKLE

<u>TYPICAL</u> UNDERCU

UNFINISHED

VARNISH

VENEER

VERTICAL

VINYL FABRIC

WALL HUNG

WATER CLOSET

WATER HEATER

WATER RESISTANT

WELDED WIRE FABRIC

WATERSTOP WEATHERSTRIP, (ING

WHEEL STOP

WIDTH, WIDE

WIRED GLASS

WIRE MESH

WOOD STAIN

WROUGHT IRON

WINDOW

VERT

VICP

VAPOR BARRIER

VERTICAL GRAIN

VINYL COMPOSITION TILE

VITREOUS CLAY TILE

UNLESS NOTED OTHERWISE

TREAD

TO BE REMOVED

THICK. (NESS)

TEMPERED, INSULATED GLASS

TOILET PAPER DISPENSER

SUSPENDED

SYMMETRY, (ETRICAL)

STCO

SFLR

STOREFRONT

STRUCTURAL

STORM DRAIN

SPANDRÈL GLASS

SPECIFICATION

STAINLESS STEEL

STAINED GLASS

SHELF, SHELVING

SERVICE SINK

SEALAN

SFATING

ROUND CONCRETE PIPE

ROOF DRAIN ROOF HATCH

ROWLOCK

RODNEY LEE SLATON 90298

THESE DRAWINGS REVIEWED AND CERTIFIED

BY RODNEY SLATON T.B.P.E. #90298 FOR

MALONEY SERVICES LLC.

Drawings Prepared By:

maloneyservices@yahoo.com

Maloney Services

832.257.4619

APPROVED FIRE CODE PLANS Reviewer: S. Vaughn

Maloney Services

All code deficiencies found in the field shall be corrected and made compliant prior to the

ertificate of Compliance being issued.

PROJECT TITLE

"SHELL BUILDING" RHODES MEADOW BUSINESS PARK

> 21631 RHODES ROAD **BUILDING "D" SPRING, TX. 77338**

06-20-2022

PERMIT DRAWINGS

PROJECT NO: 04292022 DRAWN BY: MJM CHECKED BY: JP MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO

LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

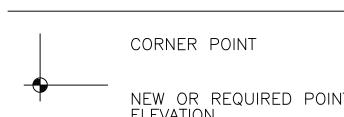
SHEET TITLE

SYMBOLS & **ABBREVIATIONS**

SHEET NUMBER

GRAPHIC SYMBOLS

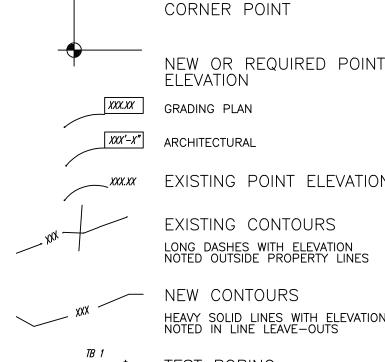
HEAVY DASH AND DOUBLE DOT LINE



NEW OR REQUIRED POINT ELEVATION GRADING PLAN ARCHITECTURAL **EXISTING CONTOURS** LONG DASHES WITH ELEVATION NOTED OUTSIDE PROPERTY LINES NEW CONTOURS HEAVY SOLID LINES WITH ELEVATION NOTED IN LINE LEAVE—OUTS TEST BORING

ELEVATIONS, PROJECTED LINES ___ LIGHT DASH AND DOT LINE

PROPERTY LINES, BOUNDARY LINES



GRAPHIC SYMBOLS

CENTER LINES, FLOOR LINES IN EXTERIOR

✓ INTERIOR ELEVATION AXX.XX REFERENCE DRAWING NUMBER SECTION LINES AND SECTION REFERENCES INDICATES SECTION NUMBER INDICATES DRAWING SHEET ON WHICH DETAIL IS SHOWN

DETAIL REFERENCES INDICATES DETAIL NUMBER DTL 4.09 COLUMN REFERENCE GRIDS

STAIR DIRECTION SYMBOL

,FACE OF RISER

DIMENSION SYMBOL

DIMENSION TO DIMENSION LINE — DIMENSION TO FACE OF FRAMING UNLESS SHOWN OTHERWISE ON LARGE SCALE DRAWING DIMENSION TO COLUMN LINE

REVISION TO DRAWING

ACCESSIBLE STANDARDS:

∠ 24" PREFERRED

PULL SIDE

X = 12" IF DOOR HAS BOTH A CLOSER

PUSH SIDE

FRONT APPROACHES

SWINGING DOORS

AND LATCH.

X = 36" MINIMUM IF Y = 60"

X = 42" MINIMUM IF Y = 54"

PULL SIDE

NOTE:

Y = 48" MINIMUM IF DOOR HAS BOTH

PUSH SIDE

A LATCH AND CLOSER.

SWINGING DOORS

HINGE SIDE APPROACHES

THE INFORMATION ON THIS SHEET IS NOT "ALL-INCLUSIVE" OF THE ACCESSIBILITY STANDARD REQUIREMENTS INDICATED. THE CONTRACTOR SHALL REFER TO SAID STANDARDS FOR ACCESSIBILITY CRITERIA NOT SHOWN HERE.

DOOR CLEARANCES

THRESHOLD @ DOORWAY

DOORS IN A SERIES

GENERAL NOTES

- 1. USE GFI OUTLETS WHERE NECESSARY. NOT USED
- ALARMS & STROBES & ARA COMMUNICATION DEVICES MUST BE INSTALLED ACCORDING TO
- 3. FIELD VERIFY ALL APPLIANCE DIMENSION BEFORE CONSTRUCTION. 4. PROVIDE MINIMUM OF

27" HIGH X 30" WIDE X 19" DEEP

- WITH ACCESSIBILITY. 5. FAUCET SETS TO CONFORM WITH
- ACCESSIBILITY REQUIREMENTS.
- 6. 34" MAX. HEIGHT TO TOP OF SINK RM OR COUNTER PER ACCESSIBILITY REQUIREMENTS.

Y= 54"MINIMUM IF DOOR HAS CLOSER.

Y = 48" MINIMUM IF DOOR HAS CLOSER.

LATCH SIDE APPROACHES

PULL SIDE

PUSH SIDE

SWINGING DOORS

7. SINK MAX.- DEPTH= 6-1/2" 8. PROVIDE PROTECTIVE COVERING OVER EXPOSED PIPES & SURFACES

ACCESSIBILITY STANDARD (TYP.)

FRONT APPROACH

SLIDING AND

SLIDING AND

FOLDING DOORS

FOLDING DOORS

- 9. FLUSH CONTROL ON OPEN SIDE OF W.C. 10. DOOR SIGNS SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE MOUNTED ON LATCH SIDE WALL @ 60" A.F.F. ON THE CENTERLINE OF THE SIGN.
- 11.RESTROOM ACCESSIBLE SIGNAGE IS SUPPLIED BY OWNER. 12. RESTROOM ACCESSIBLE SIGNAGE WILL BE 5/8" UPPER CASE HELVETICA MEDIUM WHITE LETTERS ON BROWN BACKGROUND

AND 1/32" RAISED LETTERS, GRADE 2 BRAILLE POSITIONED DIRECTLY BELOW TEXT.

- 13. BUILDING ENTRY MAXIMUM SLOPE OF 1:20 AND A MAX. CROSS SLOPE OF 1:50.
- 14. ALL DOOR CONTROLS AREA TO BE "LEVER" HANDLE TYPE CONFORMING TO ACCESSIBILITY STANDARDS. 15. ALL DOORS NOTED AS "EXIT" DOORS IN THE REMARKS COLUMN OF THE DOOR SCHEDULE, ARE TO BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY
- OR ANY SPECIAL KNOWLEDGE OR EFFORT 16. PROVIDE DOOR STOPS AND SILENCERS AT ALL DOORS, TYPICAL.

DOOR WIDTH

SLIDE SIDE APPROACH LATCH SIDE APPROACH

SLIDING AND

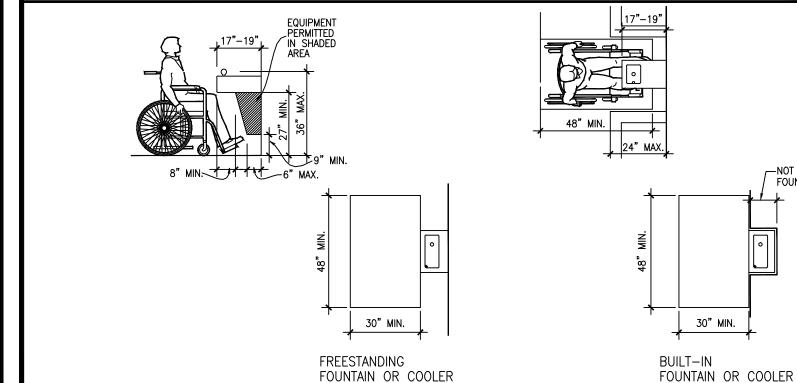
FOLDING DOORS

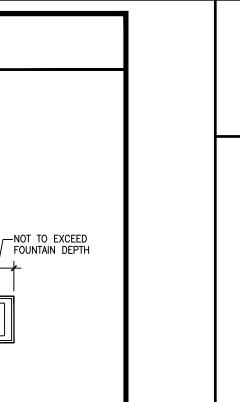
17. GENERAL CONTRACTOR IS TO PROVIDE 18" CLEAR AT PULL SIDE OF DOORS IN ORDER TO COMFORM TO ACCESSIBILITY

STANDARD SIGNAGE

18. DOOR CLOSERS- THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE 3" FROM THE LATCH. MEASURED TO THE LEADING EDGE

- OF THE DOOR. 19. INTERIOR HINGED, SLIDING, AND FOLDING DOORS SHALL HAVE A 5 POUND OPENING FORCE.
- 20. VERIFY KEYING REQUIREMENTS WITH OWNER.
- 21. ACCESSIBLE THRESHOLDS TO BE MAX. 1/2" HIGH.
 - 22. H.C. URINAL TO BE 17" HIGH WITH 14" TAPERED ELONGATED TRIM w/ FLUSH CONTROLS AT 44" A.F.F. MAX.





60" DIA.

CLEAR FLOOR SPACE

PARALLEL APPROACH

SPACE NEEDED 7 TURN A WHEELCHAIF THESE DRAWINGS REVIEWED AND CERTIFIED BY RODNEY SLATON T.B.P.E. #90298 FOR MALONEY SERVICES LLC. RODNEY LEE SLATON 90298

Drawings Prepared By:

maloneyservices@yahoo.com

Maloney Services 832.257.4619

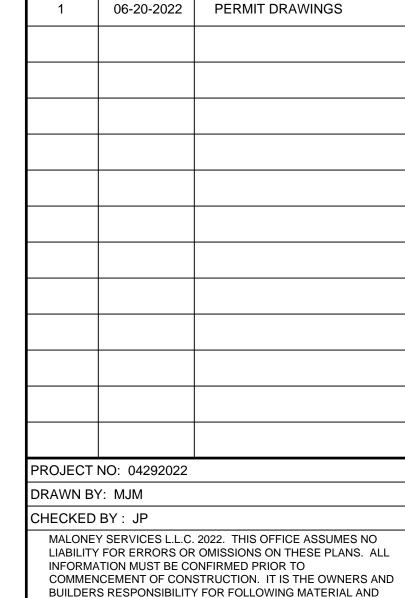
APPROVED FIRE CODE PLANS All code deficiencies found in the field shall be

corrected and made compliant prior to the Certificate of Compliance being issued.

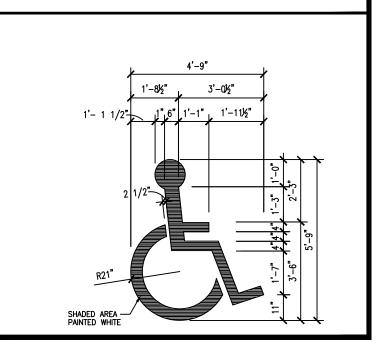
PROJECT TITLE

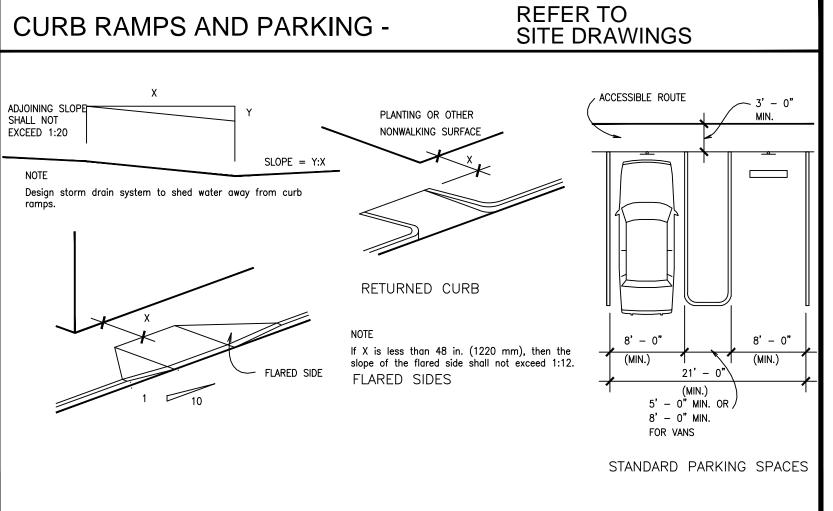
"SHELL BUILDING" RHODES MEADOW BUSINESS PARK

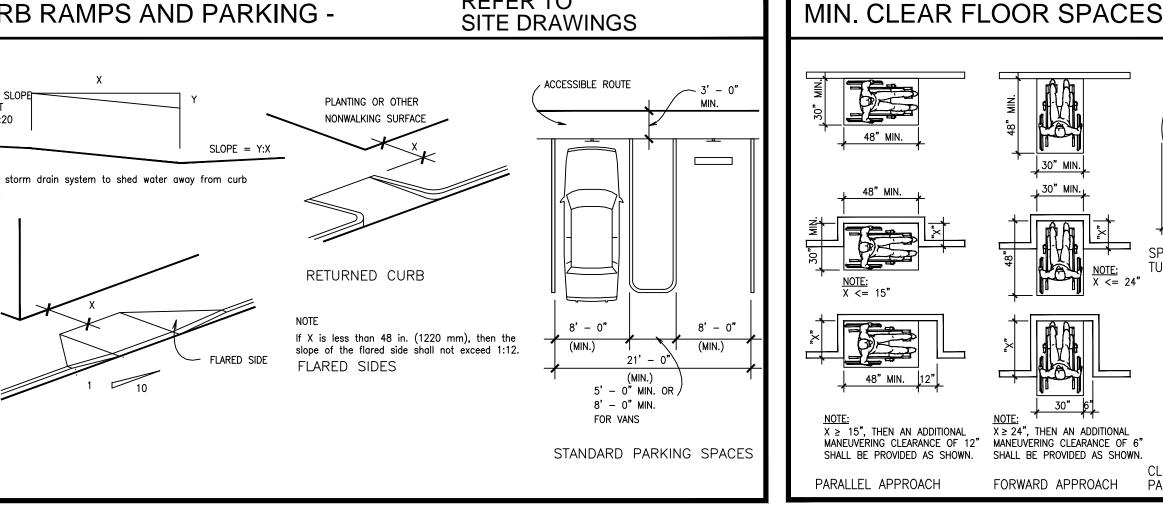
> 21631 RHODES ROAD **BUILDING "D" SPRING, TX. 77338**



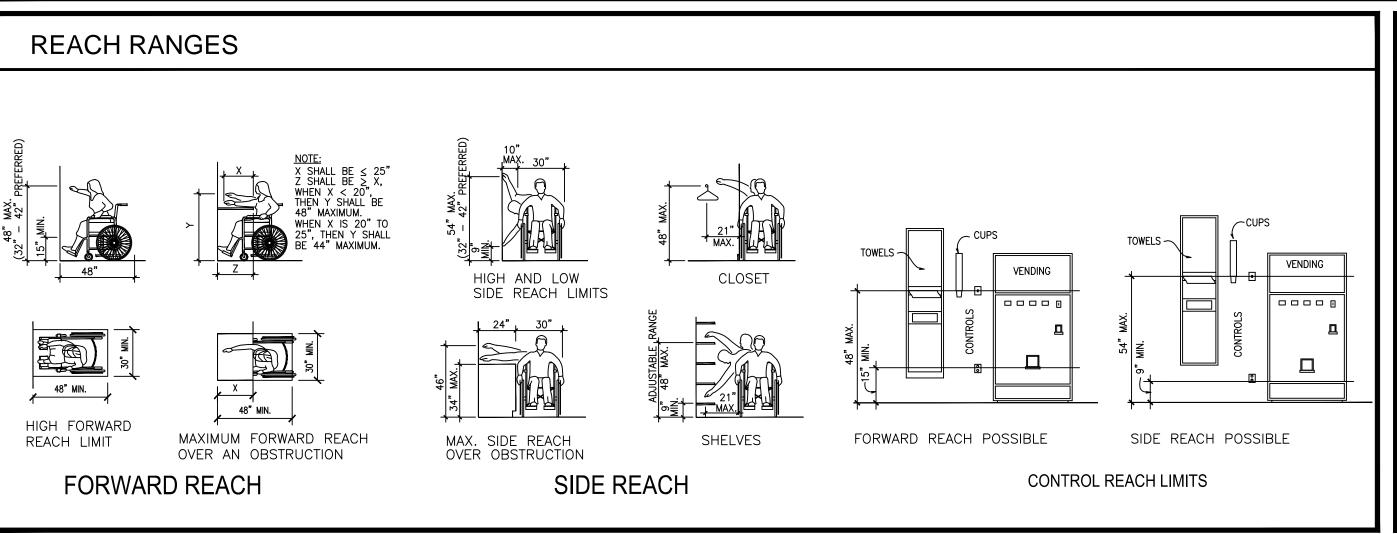
ACCESSIBLE SYMBOL-PARKING STALL

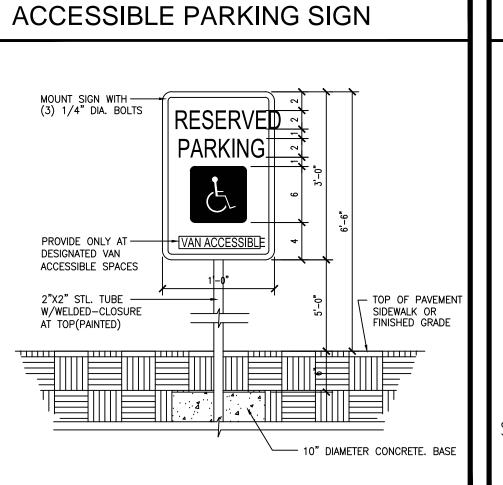


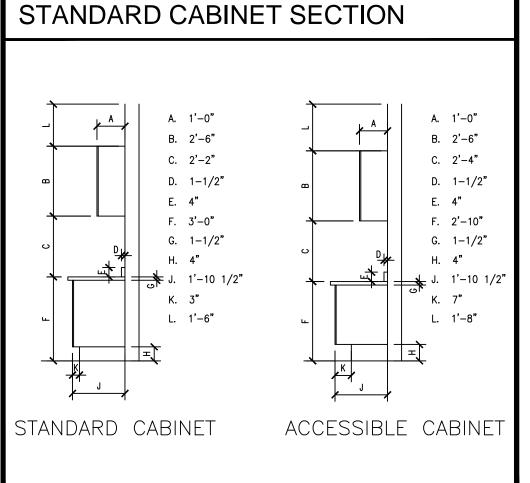


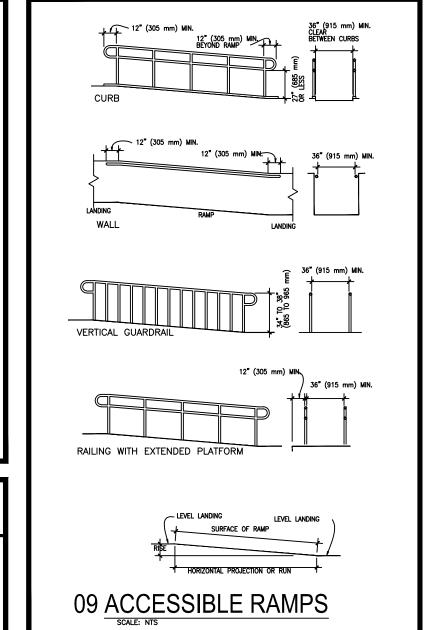


DRINKING FOUNTAINS



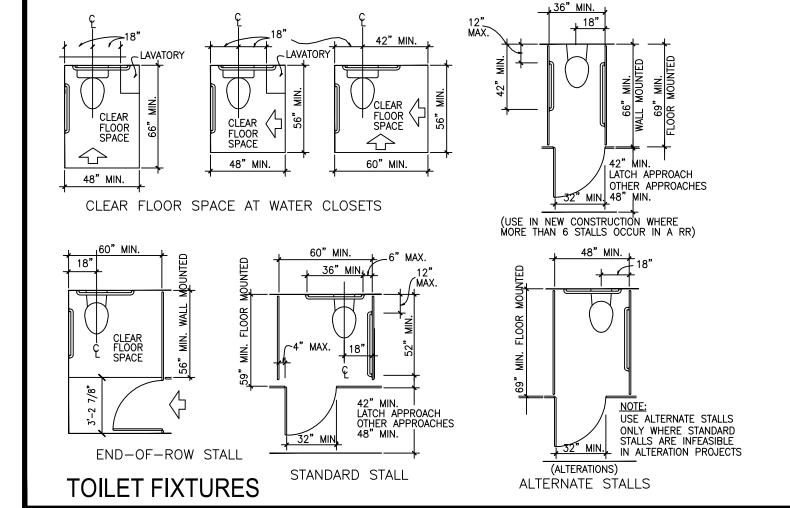


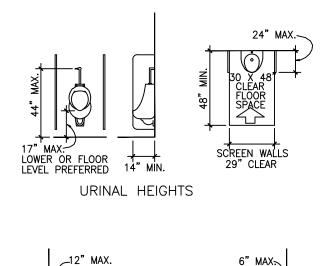


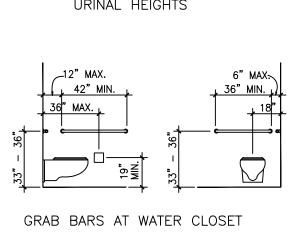


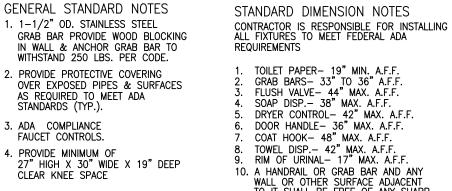
RAMPS











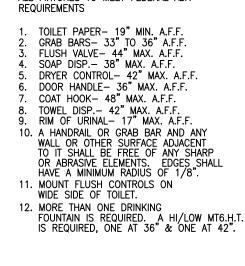
3. ADA COMPLIANCE FAUCET CONTROLS.

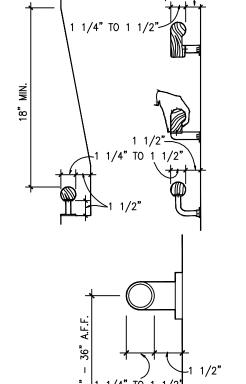
5. 40" MAX. BOTTOM MIRROR TOP

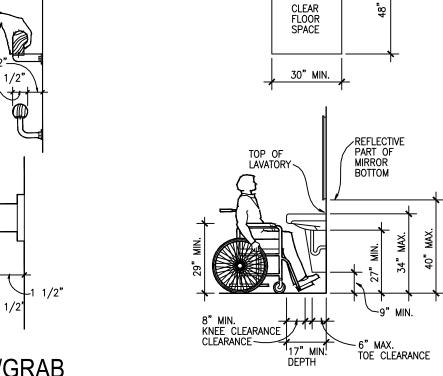
6. 34" MAX. FOR UNDER COUNTER.

BY DASHED LINES

7. SINK AND PLUMBING LINES ARE TO BE CLEAR FOR HANDICAPPED ACCESSIBILITY GUIDELINES INDICATED







HANDRAIL/GRAB LAVATORY CLEARANCES **BAR SPACING**

ACCESIBILITY STANDARDS

MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED

FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE

GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE

STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN

SHEET NUMBER

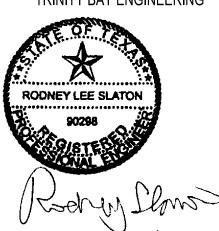
CONSTRUCTED.

SHEET TITLE

CS3

Drawings Prepared By: Maloney Services 832.257.4619 maloneyservices@yahoo.com

THESE DRAWINGS REVIEWED AND CERTIFIED BY RODNEY SLATON T.B.P.E. #90298, F.I.R.M. #18351 TRINITY BAY ENGINEERING



APPROVED FIRE CODE PLANS Reviewer: S. Vaughn All code deficiencies found in the field shall be

corrected and made compliant prior to the Certificate of Compliance being issued.

EXIT SIGN W/ LIGHTS AND BATTERY BACK-UP POWER

EMERGENCY EXIT LIGHTS WITH BATTERY BACK-UP POWER EXTERIOR RATED

WALL MOUNTED FIRE EXTINGUISHER

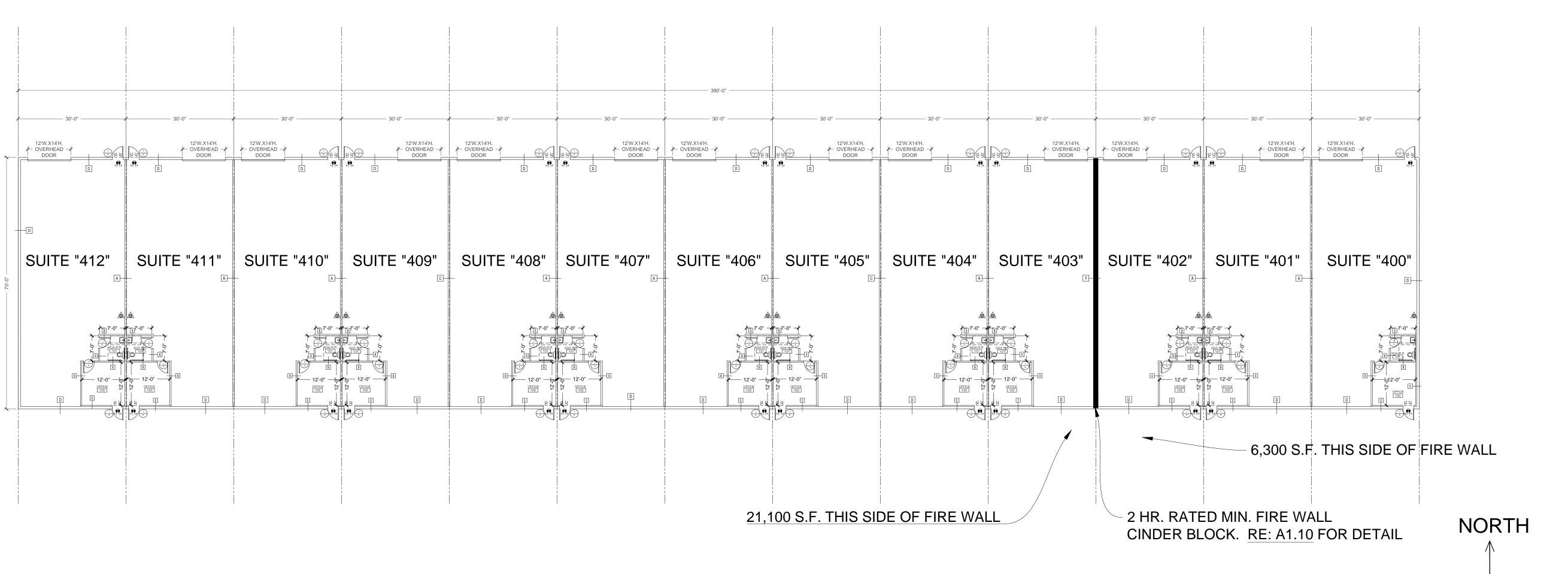
SCALE: 1/16"=1'-0"

PROJECT TITLE

"SHELL BUILDING" RHODES MEADOW BUSINESS PARK

21631 RHODES ROAD SHELL BUILDING, A, B, C, D, E, F SPRING, TX. 77338

PERMIT DRAWINGS 09-02-2022 PROJECT NO: 04292022 DRAWN BY: MJM CHECKED BY: JP MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED. SHEET TITLE BUILDING



BUILDING FLOOR PLAN

FLOOR PLAN

SHEET NUMBER

A1.05



FIRE WALL DETAIL WALL TYPE "F"

EXIT SIGN W/ LIGHTS AND

BATTERY BACK-UP POWER

BATTERY BACK-UP POWER

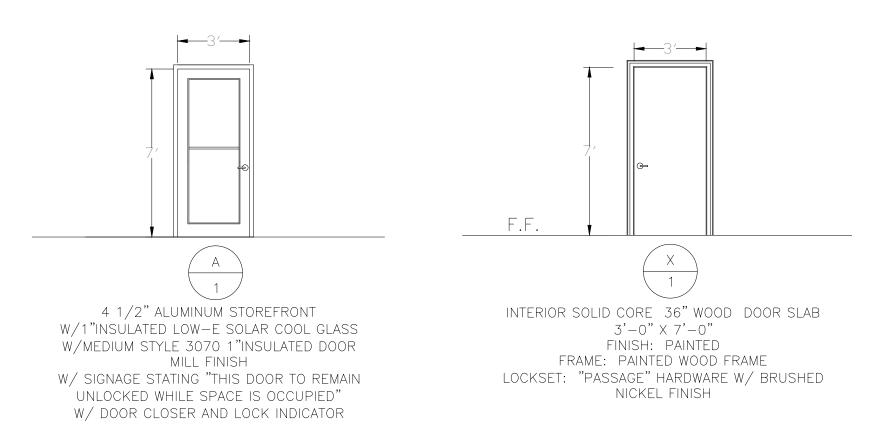
EXTERIOR RATED

EXTINGUISHER

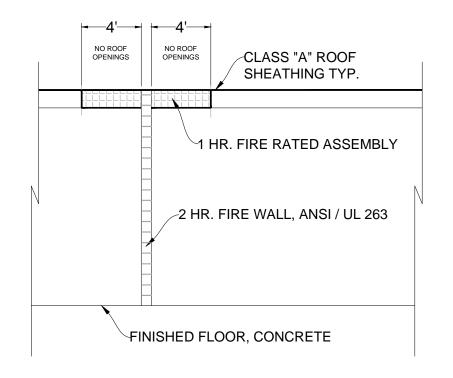
LEGEND

WALL MOUNTED FIRE

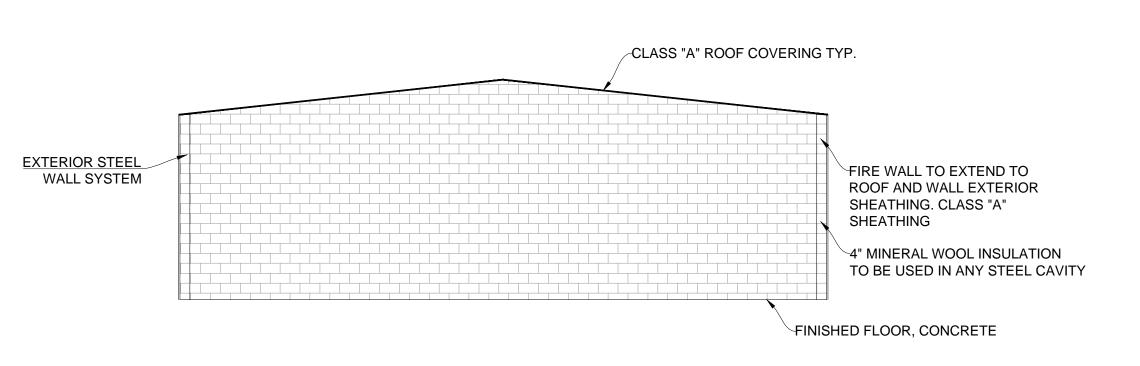
EMERGENCY EXIT LIGHTS WITH



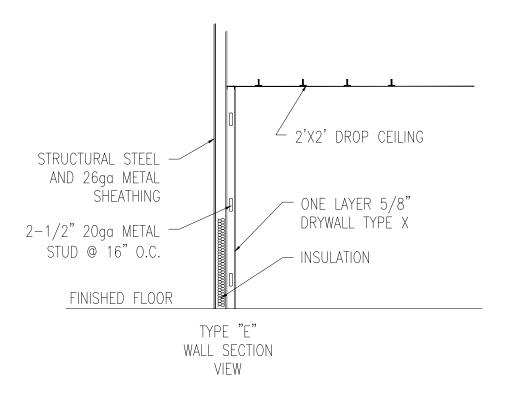
DOOR DETAILS

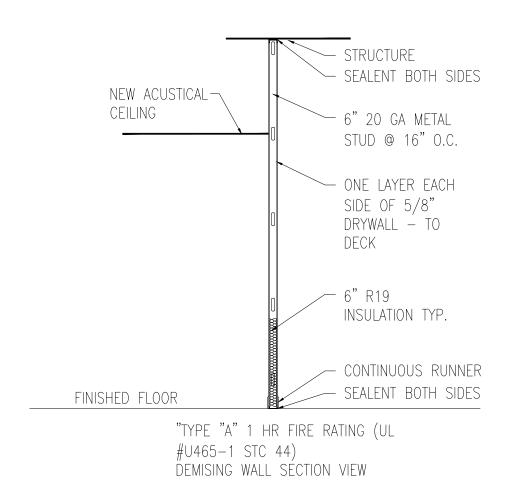


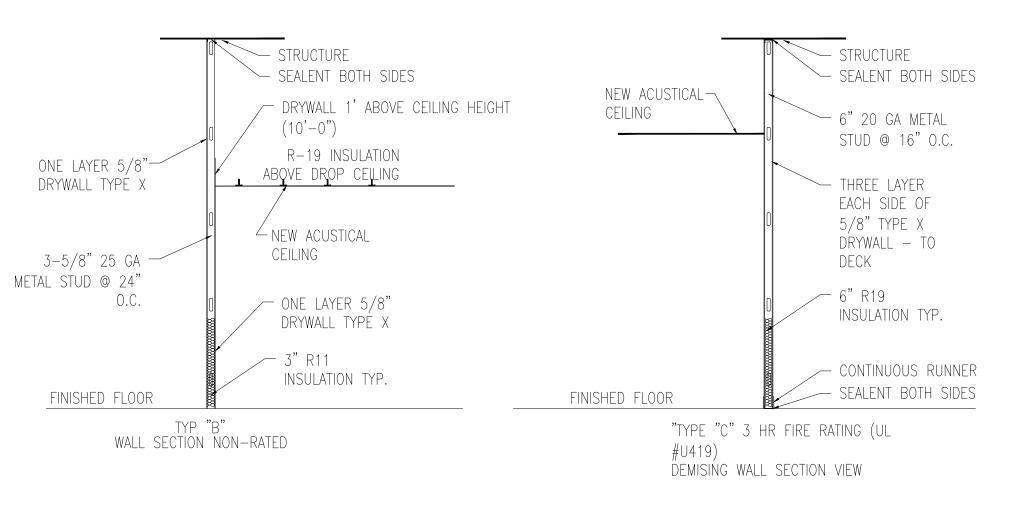
FIRE WALL TYPE "F" **SECTION VIEW**

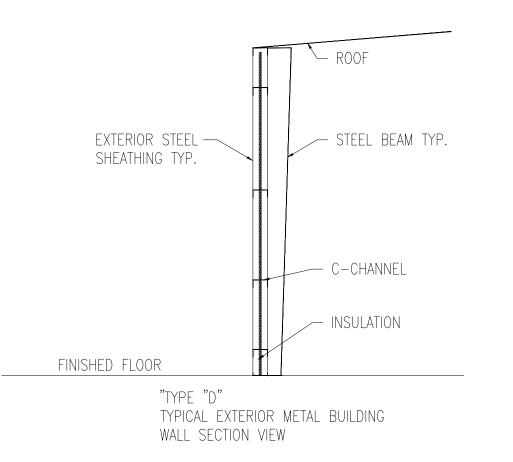


FIRE WALL TYPE "F" **ELEVATION VIEW**



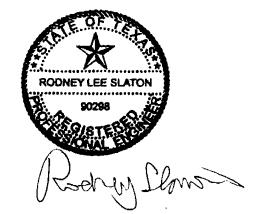






Drawings Prepared By: Maloney Services 832.257.4619 maloneyservices@yahoo.com

THESE DRAWINGS REVIEWED AND CERTIFIED BY RODNEY SLATON T.B.P.E. #90298, F.I.R.M. #18351 TRINITY BAY ENGINEERING



APPROVED FIRE CODE PLANS Reviewer: S. Vaughn All code deficiencies found in the field shall be corrected and made compliant prior to the Certificate of Compliance being issued.

PROJECT TITLE

"SHELL BUILDING" RHODES MEADOW BUSINESS PARK

> 21631 RHODES ROAD SHELL BUILDING "D" SPRING, TX. 77338

PERMIT DRAWINGS 09-16-2022 PROJECT NO: 04292022 DRAWN BY: MJM CHECKED BY: JP MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND

DETAILS

STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN

FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE

GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE

SHEET NUMBER

CONSTRUCTED.

SHEET TITLE

A1.10

WALL DETAILS

DETAILS

SCALE: N.T.S.

