

*Rodney Slaton*

**APPROVED FIRE CODE PLANS**  
 Reviewer: S. Vaughn  
 All code deficiencies found in the field shall be corrected and made compliant prior to the Certificate of Compliance being issued.

PROJECT TITLE

**"SHELL BUILDING"**  
 RHODES MEADOW BUSINESS PARK

21631 RHODES ROAD  
 SHELL BUILDING "D"  
 SPRING, TX. 77338

10-10-2022 PERMIT DRAWINGS

PROJECT NO: 04292022

DRAWN BY: MJM

CHECKED BY: JP

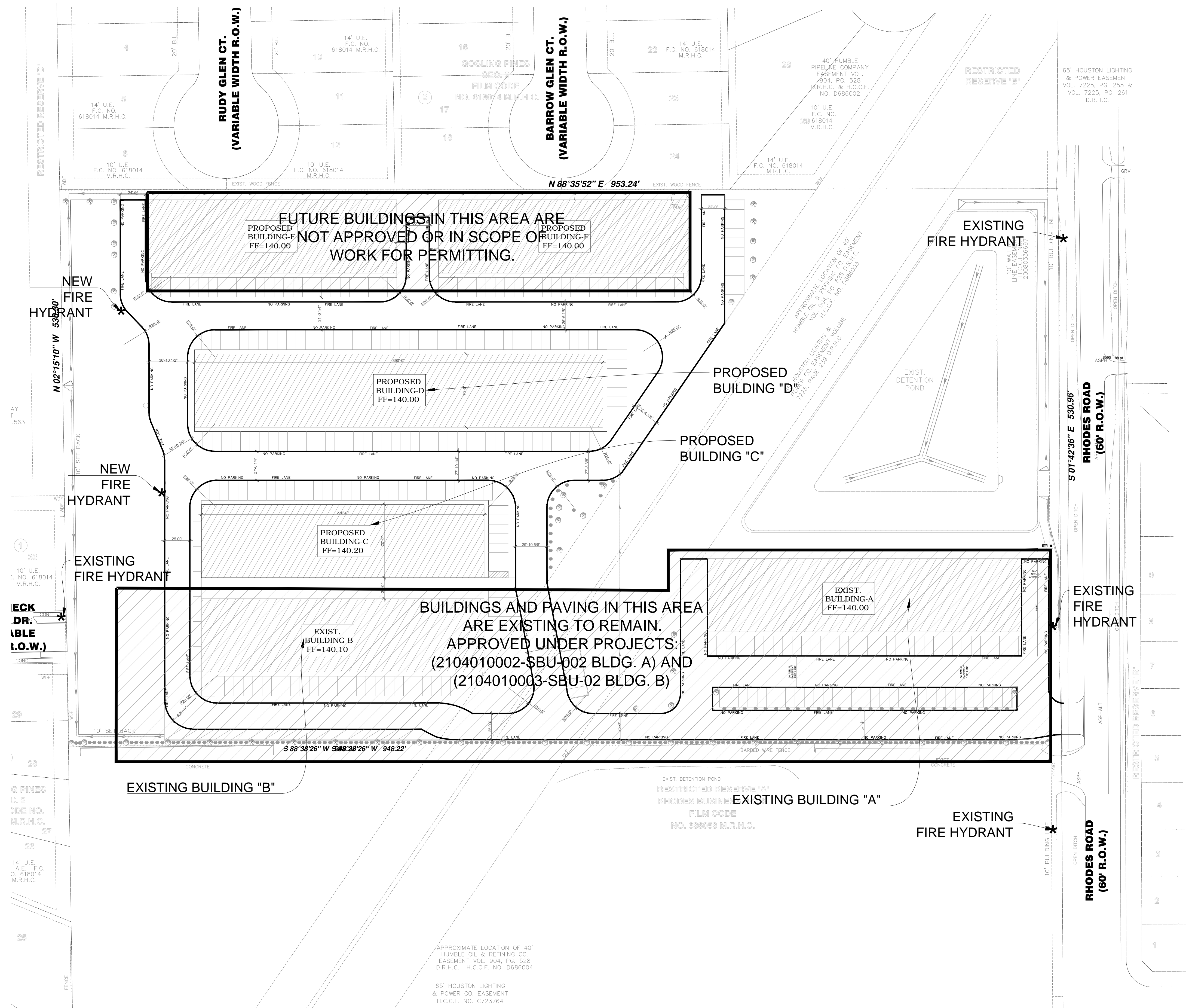
MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE



**SITE PLAN**

SHEET NUMBER

**SP1.10**



ALL FUTURE TENANTS MUST SUBMIT INTERIOR PLUMBING PLANS TO THE DISTRICT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO RECEIVING WATER OR SANITARY SERVICE FROM THE DISTRICT

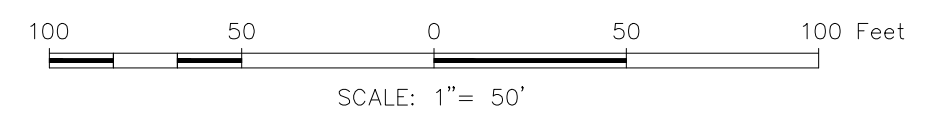
**LANDSCAPE LEGEND:**  
 TEXAS SAGE  
 TEXAS RED OAK

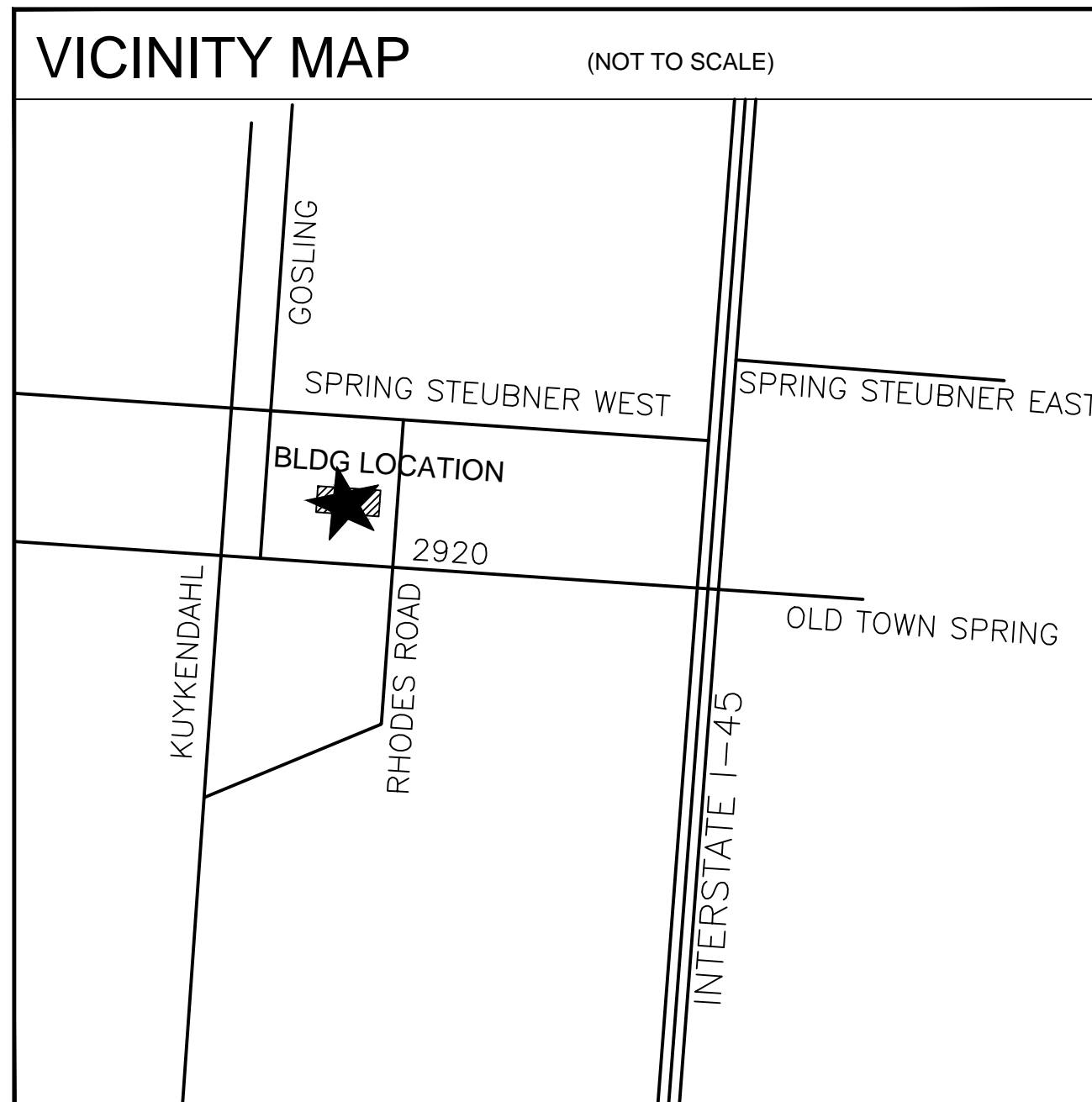
**LANDSCAPE NOTES:**  
 531 L.F. FRONTAGE = 18 STREET TREES REQUIRED = 27 PROVIDED  
 304 PARKING SPACES = 31 PARKING TREES REQUIRED = 31 PROVIDED  
 180 SHRUBS REQUIRED = 195+ SHRUBS PROVIDED

NOTE: 6' TALL MIN. SCREENED FENCE LOCATED ALONG THE PROPERTY LINE BETWEEN ADJACENT PROPERTIES. MUST BE CONSTRUCTED WITH BUILDING MATERIALS OR PLANTED WITH EVERGREEN TREES OR SHRUBS THAT WILL BE 6' TALL WITHIN 3 YEARS.

**BRIDGESTONE MUD NOTES:**

- CONSTRUCTION OF ALL WATER AND SANITARY SEWER FACILITIES SHALL BE INSPECTED BY THE DISTRICT'S OPERATOR. OWNER OR HIS CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO REQUEST INSPECTION.
- DISTRICT OPERATOR: JOSHUA P. LEE, P.E. AT (281) 363-4039, A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.  
 CONTACT: MR. DANNY STAAB PH: 281-330-6761  
 DISTRICT ENGINEER: JOSHUA P. LEE, P.E. CONTACT: JOSHUA P. LEE, P.E. PH: 281-363-4039
- CONTRACTOR SHALL CONTACT BRIDGESTONE MUD DISTRICT ENGINEER, JOSHUA P. LEE, P.E. AT (281) 363-4039, A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
  - CONTRACTOR SHALL CONTACT BRIDGESTONE MUD DISTRICT OPERATOR, DANNY STAAB OF WATER DISTRICT MANAGEMENT, AT 281-330-6761, A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION TO SET UP AN INSPECTION TO VERIFY DISTRICT'S FACILITIES.
  - THE DISTRICT'S OPERATOR SHALL BE NOTIFIED 24 HOURS IN ADVANCE TO WITNESS AND INSPECT THE SANITARY SEWER LINE CONNECTION. NO SANITARY SEWER LINES SHALL BE COVERED IN THE GROUND BEFORE THE DISTRICT'S OPERATOR HAS INSPECTED THE CONNECTION.
  - CONTRACTOR SHALL CONTACT THE DISTRICT OPERATOR TO OPERATE ALL VALVES. AT NO TIME IS THE CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE TO OPERATE ANY PART OF THE BRIDGESTONE WATER SYSTEM.
  - THE OWNER OR CONTRACTOR SHALL INSTALL AND TEST APPROPRIATE BACKFLOW PREVENTION, PER BRIDGESTONE MUD RULES & REGULATION.
  - ALL CONNECTIONS TO BRIDGESTONE MUD FACILITIES SHALL BE IN ACCORDANCE WITH THE DISTRICT'S CURRENT RATE ORDER.



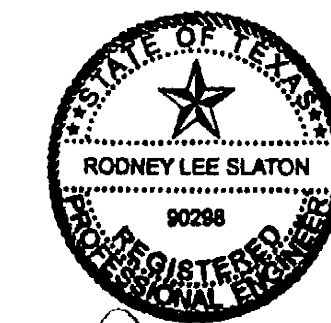


**PROJECT SCOPE**

CREATE NEW SHELL BUILDING FOR SPECULATIVE LEASE SPACES.

**RESPONDING FIRE DEPT: SPRING VOLUNTEER FIRE DEPT #75**  
 LOCATED AT 3915 FM 2920 SPRING TEXAS 77388

THESE DRAWINGS REVIEWED AND CERTIFIED BY  
 RODNEY SLATON T.B.P.E. #90298, F.I.R.M. #18351  
 TRINITY BAY ENGINEERING



*Rodney Slaton*  
 09-22-2022

**APPROVED FIRE CODE PLANS**  
 Reviewer: S. Vaughn  
 All code deficiencies found in the field shall be corrected and made compliant prior to the Certificate of Compliance being issued.

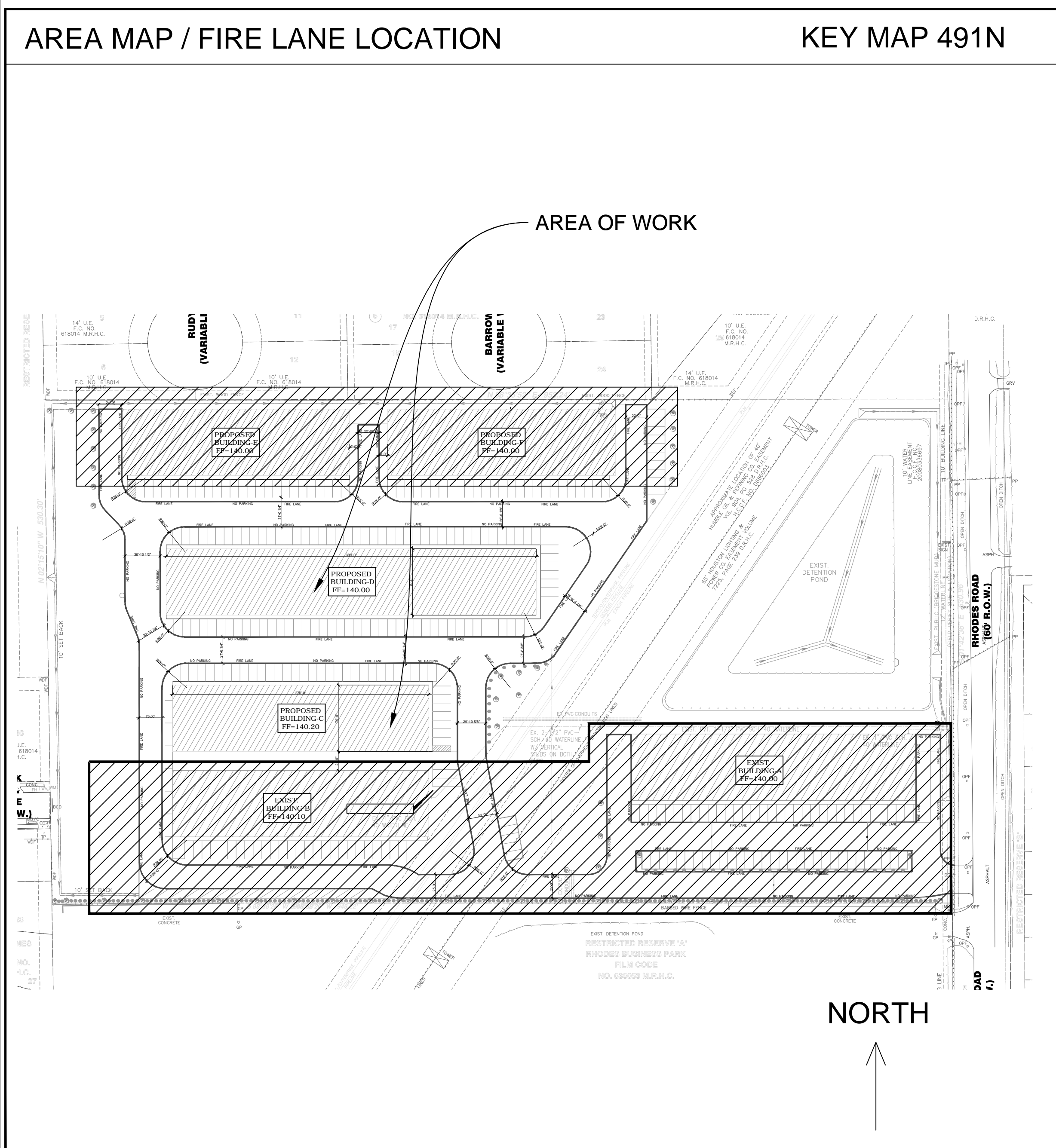
**INDEX OF DRAWINGS:**

6	4	3	2	1	
					ARCHITECTURAL
					CS1 COVER SHEET
					CS2 SYMBOLS AND ABBREVIATIONS
					CS3 ACCESSIBILITY STANDARDS
					A1.05 FLOOR PLAN AND DETAILS
					A1.10 BUILDING DETAILS
					A1.20 BUILDING ELEVATIONS
					SP1.10 SITE PLAN W/ FIRE LANE
					FCR FIRE CODE REVIEW SHEET

**BUILDING CODE AND DATA**

BUILDING CODES:	
BUILDING	2018 IBC
PLUMBING	2018 UPC
ELECTRICAL	2018 NEC
MECHANICAL	2018 UMC
ACCESSIBILITY	ADA AND ANSI 117.1 1998
FIRE	2018 IFC
ENERGY	2015 INTL ENERGY CONSERVATION CODE
ENERGY	2015 HOUSTON COMMERCIAL ENERGY CONSERVATION CODE
OCCUPANCY CLASSIFICATION	U - NON SEPARATED
TYPE OF CONSTRUCTION	IIB
FIRE SPRINKLER SYSTEM	NOT SPRINKLED

27,300 S.F. 1 STORY PRE-ENGINEERED STEEL BUILDING - SHELL ONLY - WITH 3 HR. FIRE WALL  
 REFER TO FIRE CODE REVIEW SHEET FOR OCCUPANCY AND S.F. BREAKDOWN



**PROJECT TITLE**

**"SHELL BUILDING"**  
 RHODES MEADOW BUSINESS PARK

21631 RHODES ROAD  
 SHELL BUILDING "D"  
 SPRING, TX. 77338

DATE	DESCRIPTION
09-21-2022	PERMIT DRAWINGS

- GENERAL NOTES**
- REMOVE ALL DEBRIS FROM SITE AND DISPOSE CORRECTLY. KEEP SITE CLEAN AND SECURE AT ALL TIMES.
  - DURING THE COURSE OF WORK - IF THE CONTRACTOR OR ITS AGENTS SHOULD DAMAGE OR DESTROY ANY EXISTING WORK WHICH IS TO REMAIN - THEN THE CONTRACTOR SHALL REPAIR OR REPLACE THE DAMAGED WORK TO ITS ORIGINAL CONDITION-AT THE CONTRACTORS EXPENSE.
  - THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCING THE WORK.
  - ALL WORK TO BE COMPLETED IN ACCORDANCE WITH ALL LOCAL CODES, STANDARD SPECIFICATIONS, AND DRAWING REQUIREMENTS.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AND TO VERIFY THE EXISTING LOCATION AND DEPTH OF THE UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE.

**PROJECT DATES**

09-22-2022 ISSUED FOR FIRE CODE REVIEW

PROJECT NO: 04292022  
 DRAWN BY: MJM  
 CHECKED BY: JP  
 MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

**SHEET TITLE**

**COVER SHEET**

**SHEET NUMBER**



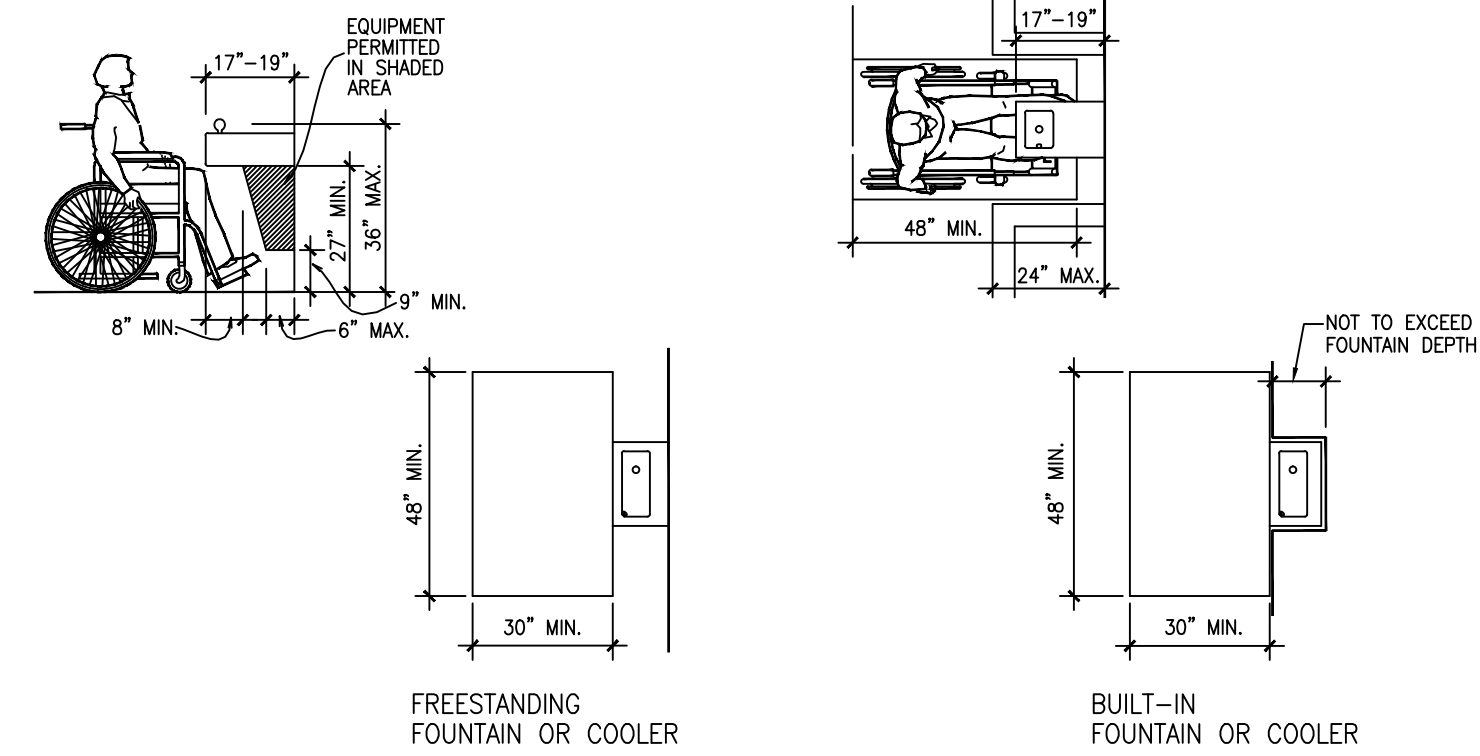
# ACCESSIBLE STANDARDS:

THE INFORMATION ON THIS SHEET IS NOT "ALL-INCLUSIVE" OF THE ACCESSIBILITY STANDARD REQUIREMENTS INDICATED. THE CONTRACTOR SHALL REFER TO SAID STANDARDS FOR ACCESSIBILITY CRITERIA NOT SHOWN HERE.

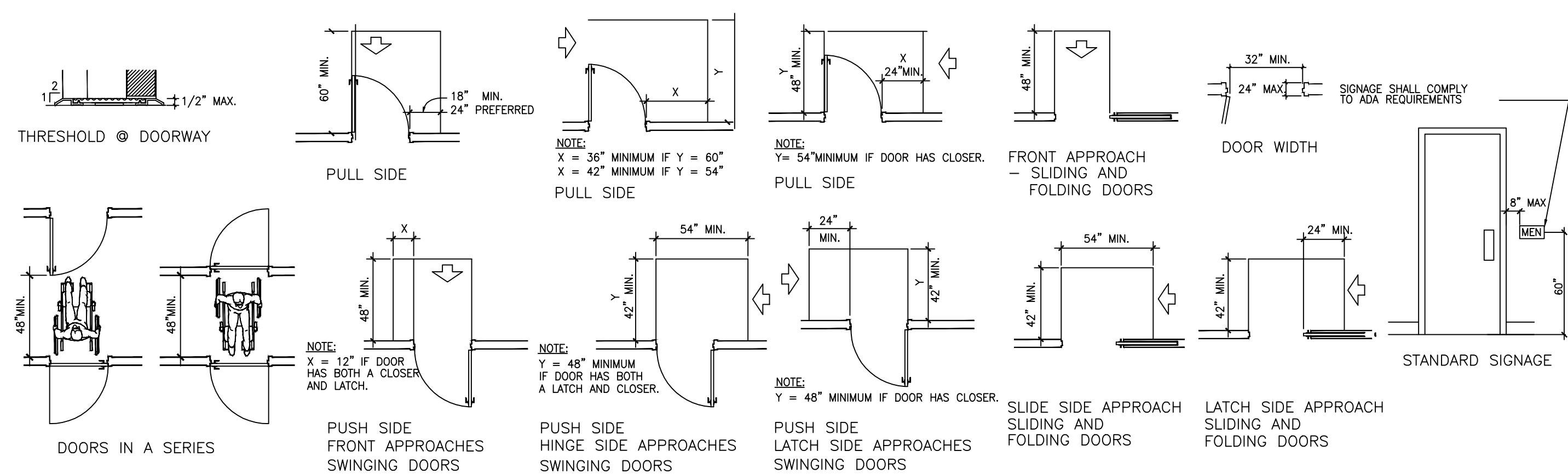
## GENERAL NOTES

- USE OF OUTLETS WHERE NECESSARY.
- NOT USED
- ALARMS - ALARMS & STROBES & ARA COMMUNICATION DEVICES MUST BE INSTALLED ACCORDING TO ACCESSIBLE STANDARDS.
- FIELD VERIFY ALL APPLIANCE DIMENSION BEFORE CONSTRUCTION.
- PROVIDE MINIMUM OF 27" HIGH X 30" WIDE X 19" DEEP CLEAR KNEE SPACE CONFORMING WITH ACCESSIBILITY.
- FAUCET SETS TO CONFORM WITH ACCESSIBILITY REQUIREMENTS.
- 34" MAX. HEIGHT TO TOP OF SINK RM OR COUNTER PER ACCESSIBILITY REQUIREMENTS.
- SINK MAX. DEPTH= 6-1/2"
- PROVIDE PROTECTIVE COVERING OVER EXPOSED PIPES & SURFACES ACCESSIBILITY STANDARD (TYP.)
- FLUSH CONTROL ON OPEN SIDE OF W.C.
- DOOR SIGNS SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE MOUNTED ON LATCH SIDE WALL @ 60" A.F.F. ON THE CENTERLINE OF THE SIGN.
- RESTROOM ACCESSIBLE SIGNAGE IS SUPPLIED BY OWNER.
- RESTROOM ACCESSIBLE SIGNAGE WILL BE 5/8" UPPER CASE HELVETICA MEDIUM WHITE LETTERS ON BROWN BACKGROUND AND 1/32" RAISED LETTERS, GRADE 2 BRASS, POSITIONED DIRECTLY BELOW TEXT.
- BUILDING ENTRY - MAXIMUM SLOPE OF 1:20 AND A MAX. CROSS SLOPE OF 1:50.
- ALL DOOR CONTROLS AREA TO BE "LEVER" HANDLE TYPE CONFORMING TO ACCESSIBILITY STANDARDS.
- ALL DOORS NOTED AS "EXIT" DOORS IN THE REMARKS COLUMN OF THE DOOR SCHEDULE, ARE TO BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT, PER SECTION 3304. (C) OF UBC CODE.
- PROVIDE DOOR STOPS AND SILENCERS AT ALL DOORS, TYPICAL.
- GENERAL CONTRACTOR IS TO PROVIDE 18" CLEAR AT FULL SIDE OF DOORS IN ORDER TO CONFORM TO ACCESSIBILITY STANDARDS.
- DOOR CLOSERS- THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70°, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- INTERIOR HINGED, SLIDING, AND FOLDING DOORS SHALL HAVE A 5 POUND OPENING FORCE.
- VERIFY KEYING REQUIREMENTS WITH OWNER.
- ACCESSIBLE THRESHOLDS TO BE MAX. 1/2" HIGH.
- H.C. URINAL TO BE 17" HIGH WITH 14" TAPERED ELONGATED TRIM w/ FLUSH CONTROLS AT 44" A.F.F. MAX.

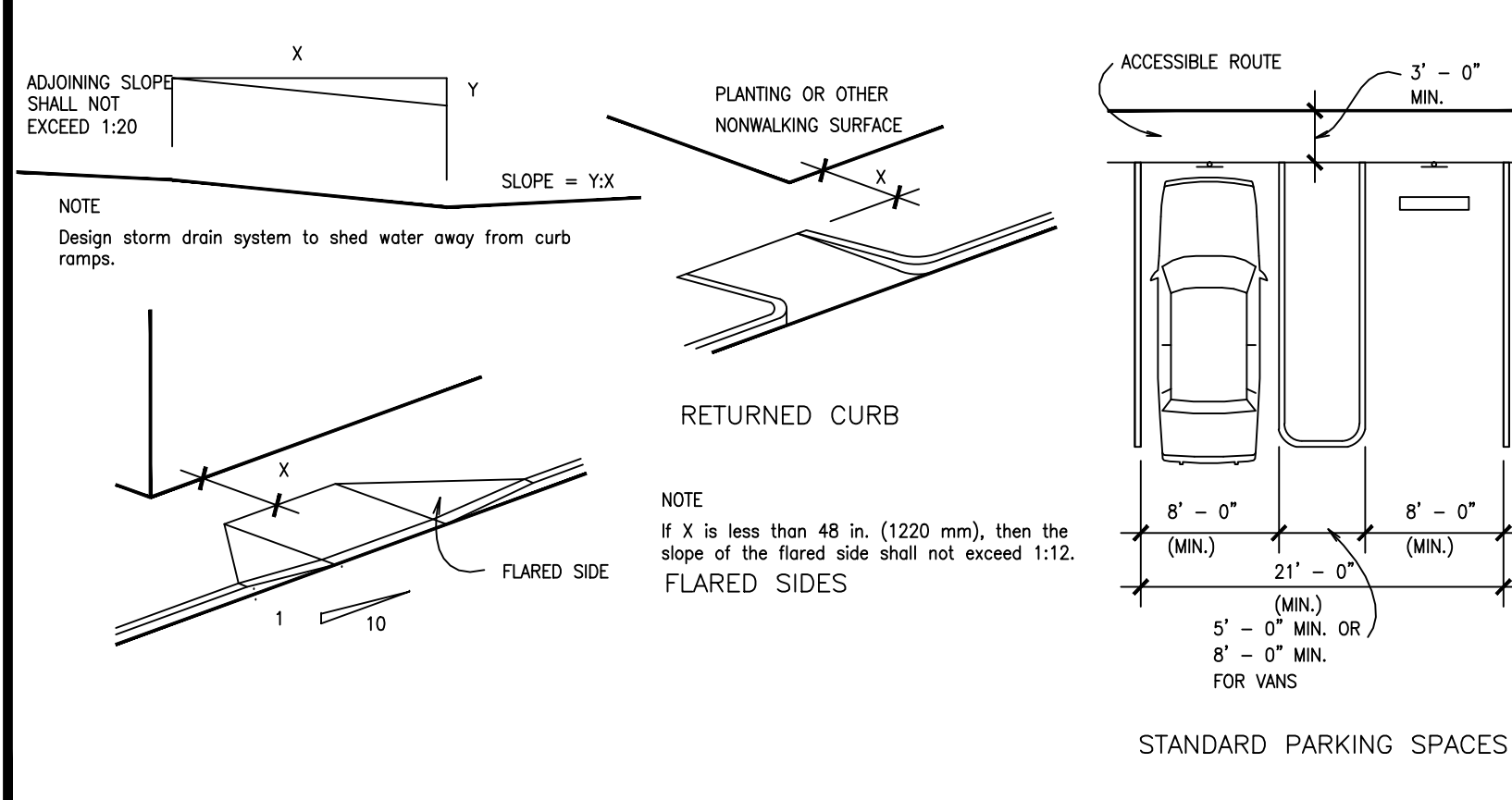
## DRINKING FOUNTAINS



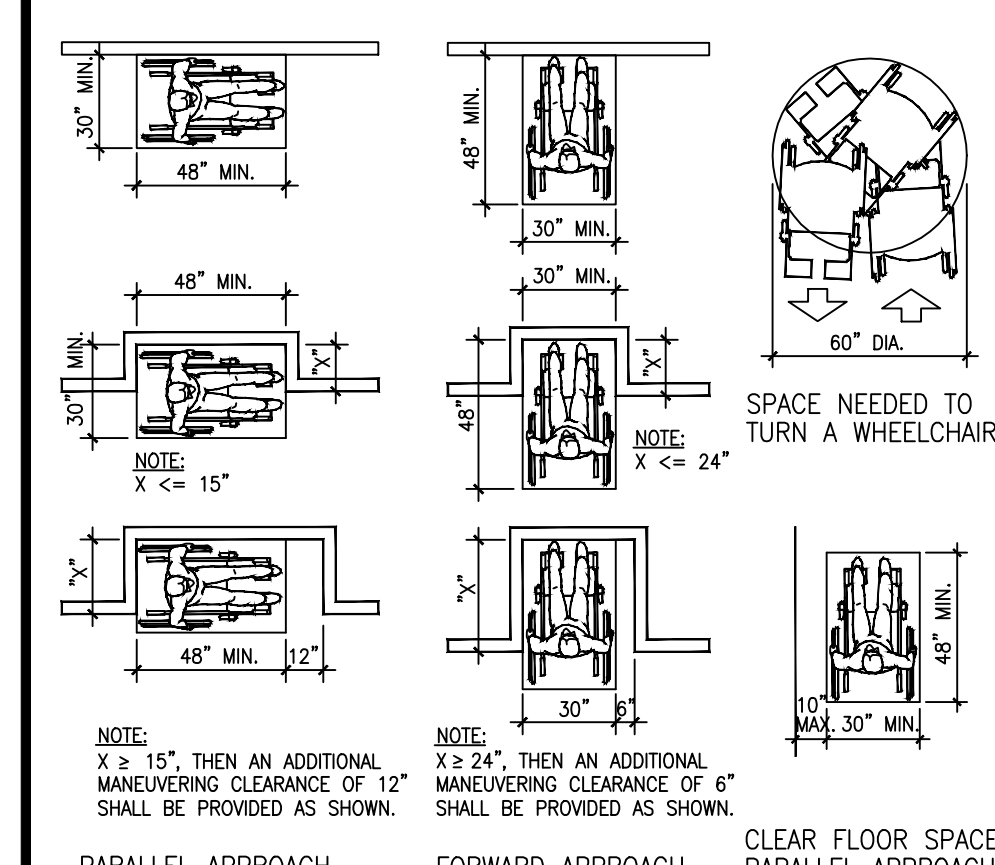
## DOOR CLEARANCES



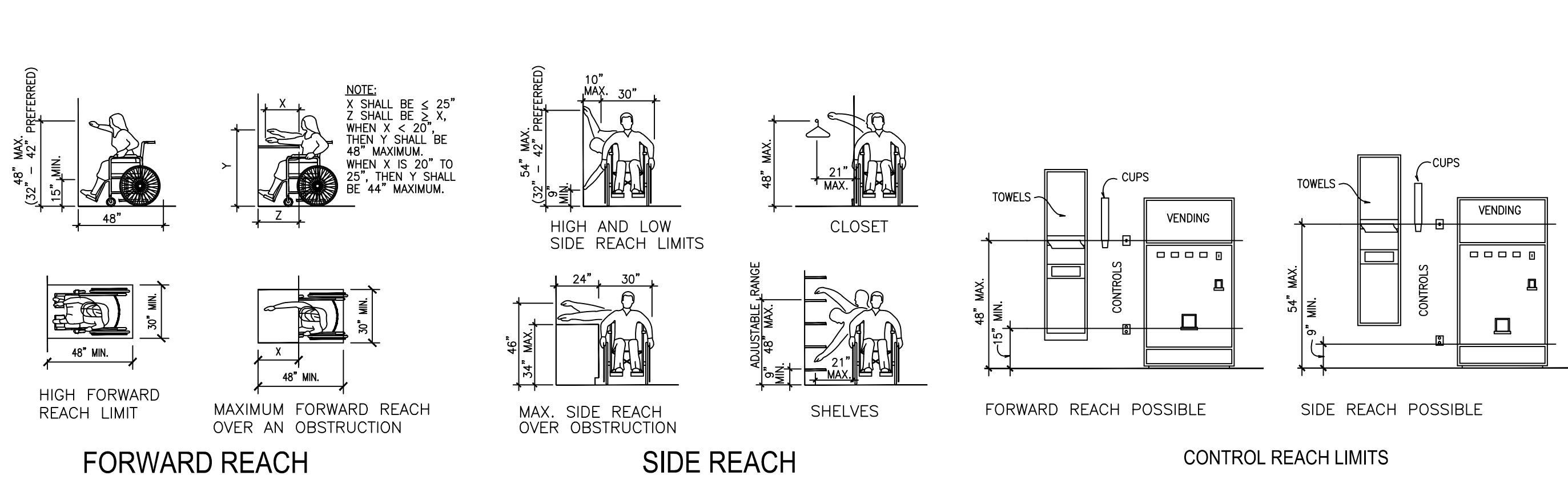
## CURB RAMPS AND PARKING - REFER TO SITE DRAWINGS



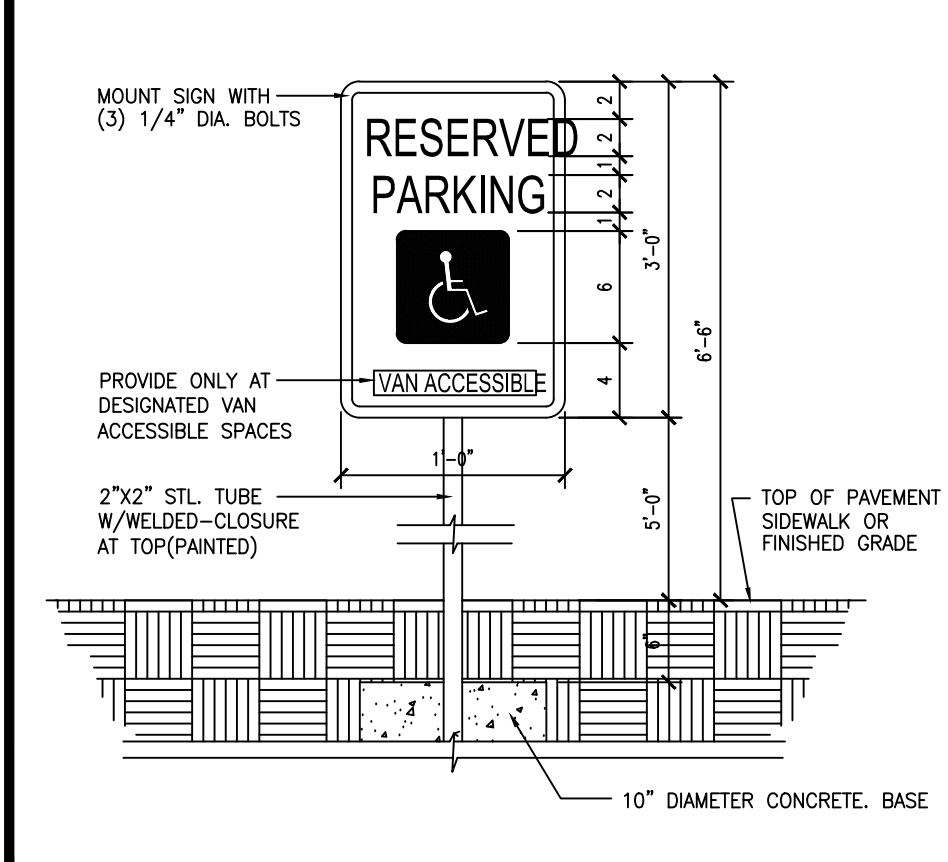
## MIN. CLEAR FLOOR SPACES



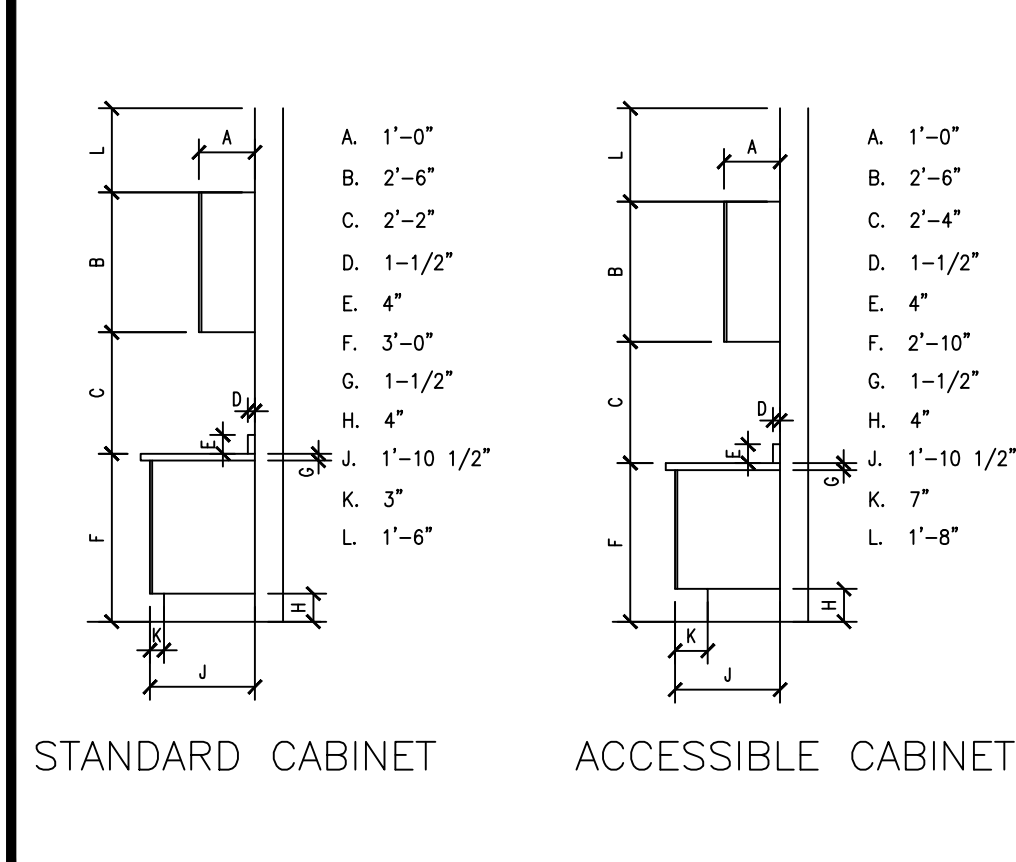
## REACH RANGES



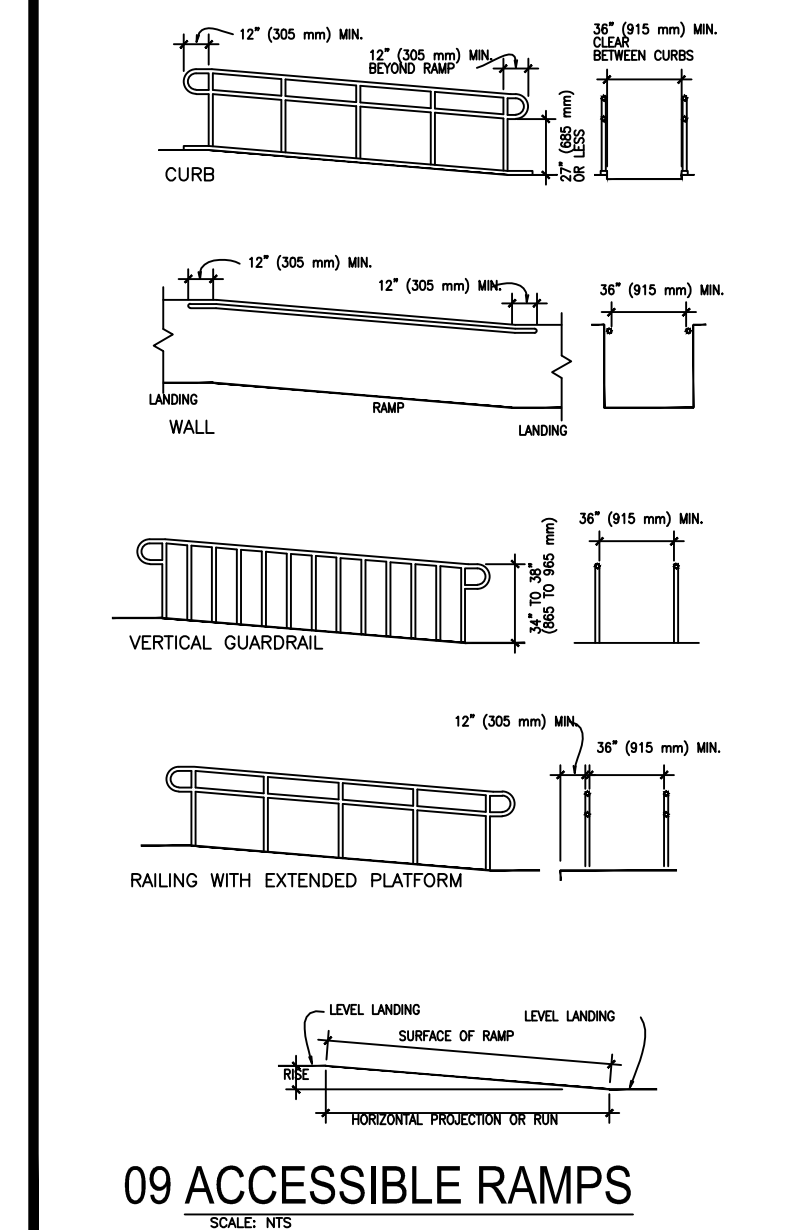
## ACCESSIBLE PARKING SIGN



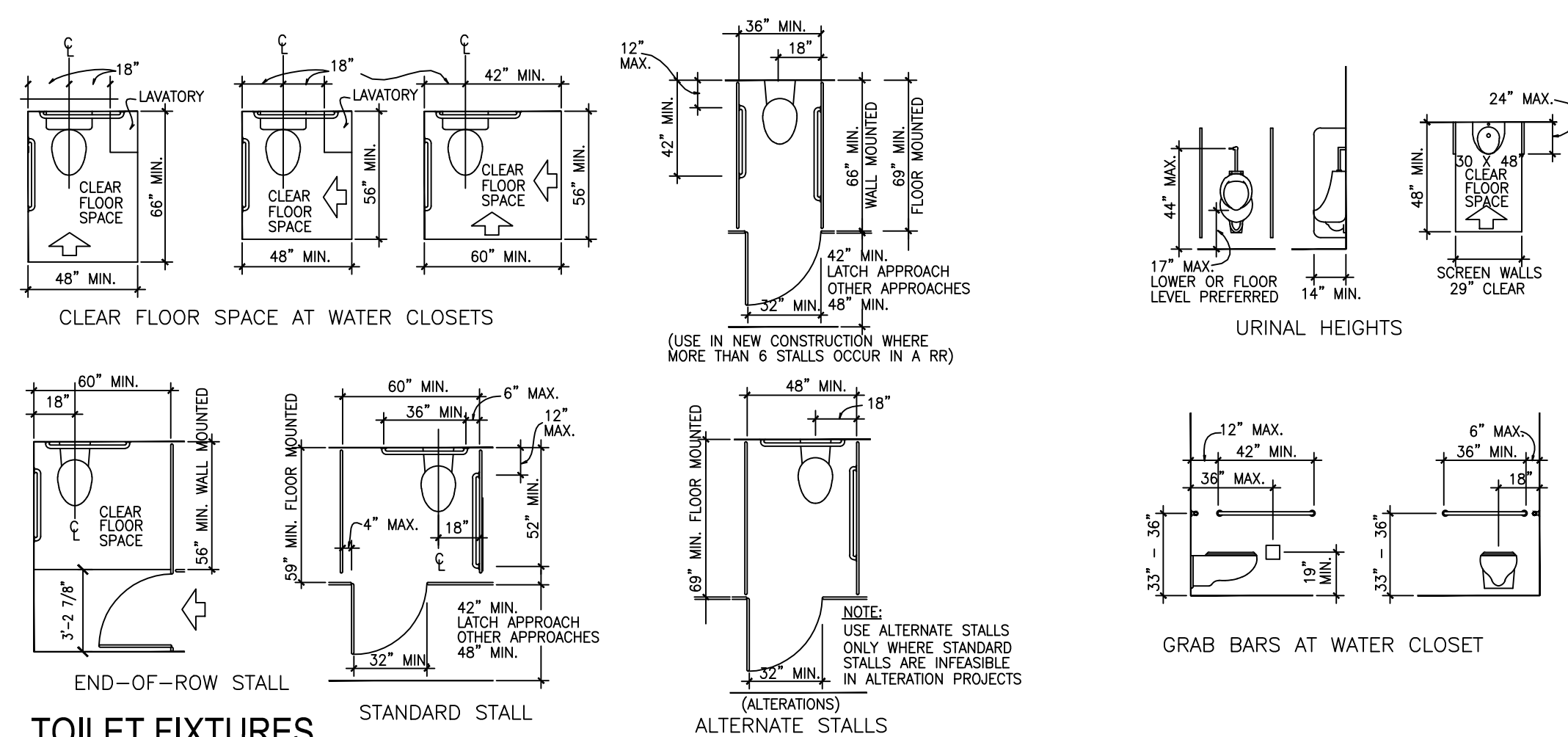
## STANDARD CABINET SECTION



## RAMPS

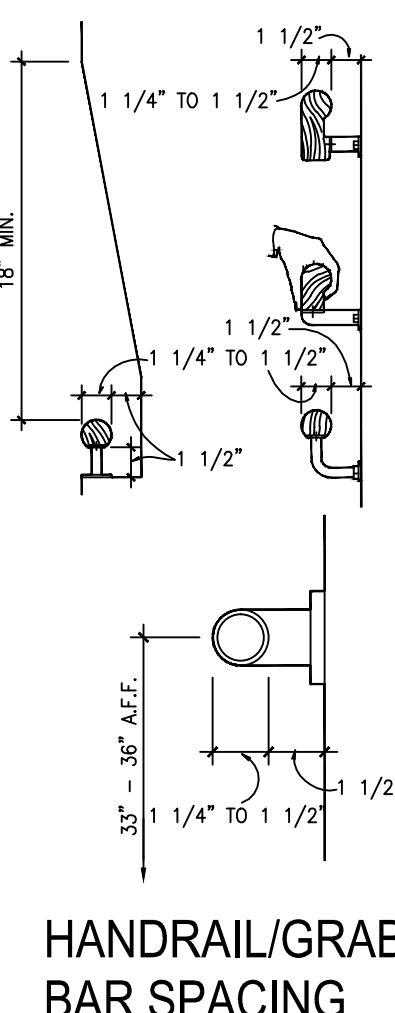


## BATHROOM FIXTURES, LAVATORY AND SINK CLEARANCES

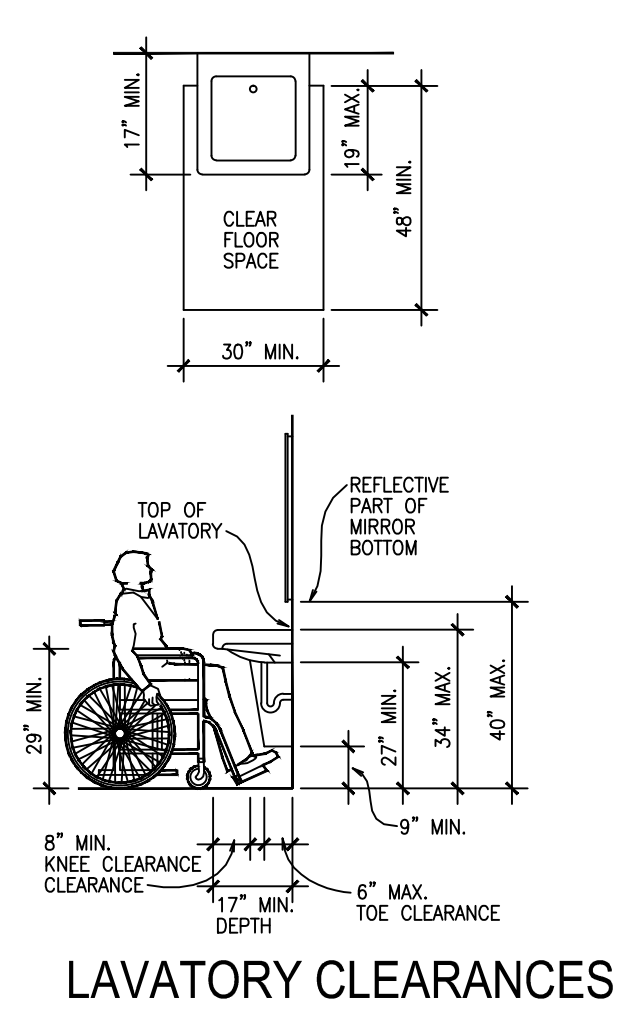


- ### GENERAL STANDARD NOTES
- 1-1/2" OD. STAINLESS STEEL GRAB BAR PROVIDE WOOD BLOCKING IN WALL & ANCHOR GRAB BAR TO WITHSTAND 250 LBS. PER CODE.
  - PROVIDE PROTECTIVE COVERING OVER EXPOSED PIPES & SURFACES AS REQUIRED TO MEET ADA STANDARDS (TYP.)
  - ADA COMPLIANCE FAUCET CONTROLS.
  - PROVIDE MINIMUM OF 27" HIGH X 30" WIDE X 19" DEEP CLEAR KNEE SPACE.
  - 40" MAX. BOTTOM MIRROR TOP OF LAVATORY.
  - 34" MAX. FOR UNDER COUNTER.
  - SINK AND PLUMBING LINES ARE TO BE CLEAR FOR HANDICAPPED ACCESSIBILITY GUIDELINES INDICATED BY DASHED LINES.

- ### STANDARD DIMENSION NOTES
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL FIXTURES TO MEET FEDERAL ADA REQUIREMENTS
- TOILET PAPER- 19" MIN. A.F.F.
  - GRAB BARS- 33" TO 36" A.F.F.
  - FLUSH VALVE- 44" MAX. A.F.F.
  - SOAP DISP.- 38" MAX. A.F.F.
  - DRYER HOOK- 42" MAX. A.F.F.
  - DOOR HANDLE- 35" MAX. A.F.F.
  - COAT HOOK- 48" MAX. A.F.F.
  - TOWEL DISP.- 42" MAX. A.F.F.
  - RM OF URINAL- 17" MAX. A.F.F.
  - A HANDRAIL OR GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
  - MOUNT FLUSH CONTROLS ON WIDE SIDE OF TOILET.
  - MORE THAN ONE DRINKING FOUNTAIN IS REQUIRED. A H/LOW MOUNT. IS REQUIRED, ONE AT 36" & ONE AT 42".

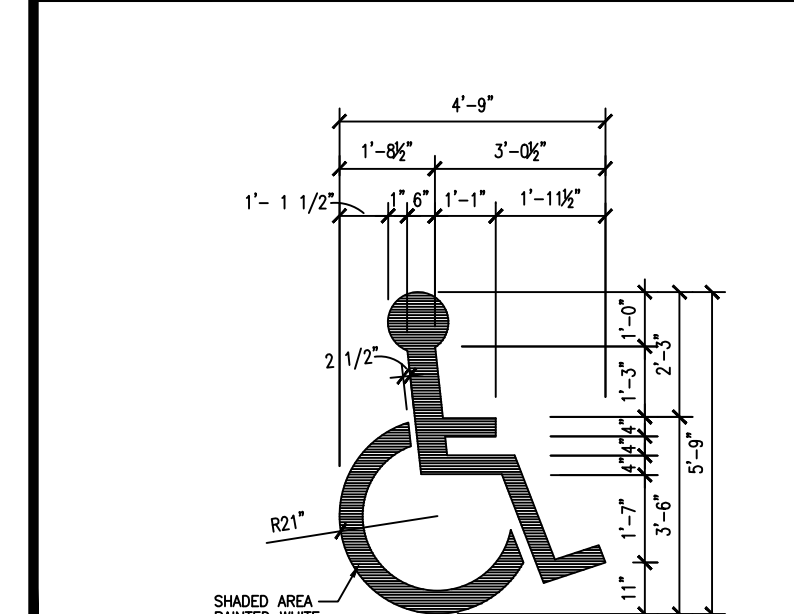


HANDRAIL/GRAB BAR SPACING

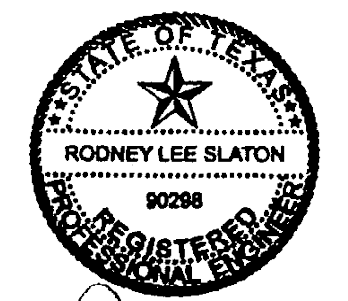


LAVATORY CLEARANCES

## ACCESSIBLE SYMBOL-PARKING STALL



THESE DRAWINGS REVIEWED AND CERTIFIED BY RODNEY SLATON T.B.P.E. #90298 FOR MALONEY SERVICES LLC.



*Rodney Slaton*

APPROVED FIRE CODE PLANS  
Reviewer: S. Vaughn  
All code deficiencies found in the field shall be corrected and made compliant prior to the Certificate of Compliance being issued.

PROJECT TITLE

"SHELL BUILDING"  
RHODES MEADOW BUSINESS PARK

21631 RHODES ROAD  
BUILDING "D"  
SPRING, TX. 77338

1 06-20-2022 PERMIT DRAWINGS

PROJECT NO: 04292022

DRAWN BY: MJM

CHECKED BY: JP

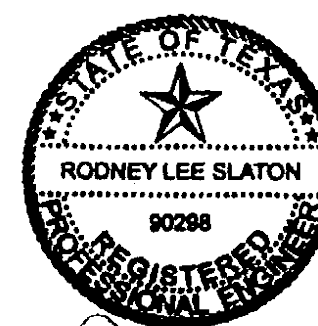
MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE

ACCESSIBILITY STANDARDS

SHEET NUMBER

CS3



*Rodney Slaton*

**APPROVED FIRE CODE PLANS**  
 Reviewer: S. Vaughn  
 All code deficiencies found in the field shall be corrected and made compliant prior to the Certificate of Compliance being issued.

PROJECT TITLE

**"SHELL BUILDING"**  
 RHODES MEADOW BUSINESS PARK

21631 RHODES ROAD  
 SHELL BUILDING, A, B, C, D, E, F  
 SPRING, TX. 77338

09-02-2022 PERMIT DRAWINGS

PROJECT NO: 04292022

DRAWN BY: MJM

CHECKED BY: JP




MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

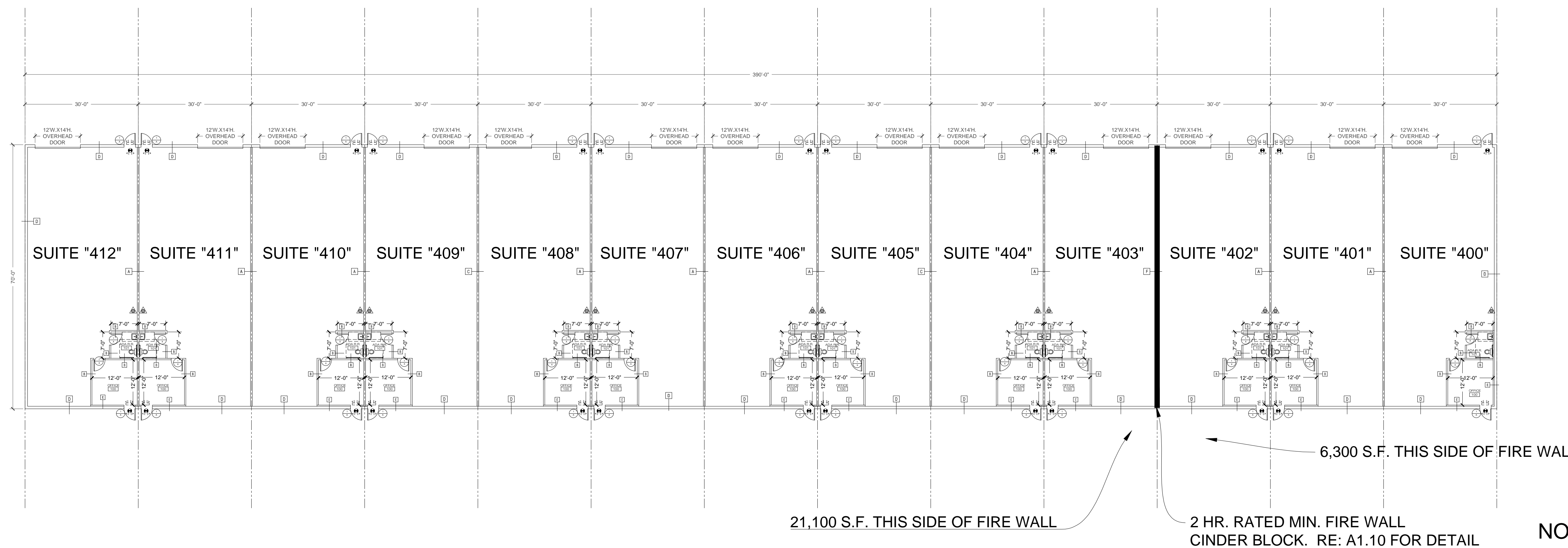
SHEET TITLE

**BUILDING  
 FLOOR PLAN**

SHEET NUMBER

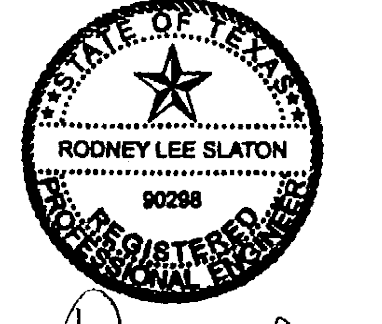
**A1.05**

-  EXIT SIGN W/ LIGHTS AND BATTERY BACK-UP POWER
-  EMERGENCY EXIT LIGHTS WITH BATTERY BACK-UP POWER EXTERIOR RATED
-  WALL MOUNTED FIRE EXTINGUISHER





THESE DRAWINGS REVIEWED AND CERTIFIED  
 BY RODNEY SLATON T.B.P.E. #90298 FOR  
 MALONEY SERVICES LLC.



*Rodney Slaton*

**APPROVED FIRE CODE PLANS**  
 Reviewer: S. Vaughn  
 All code deficiencies found in the field shall be  
 corrected and made compliant prior to the  
 Certificate of Compliance being issued.

PROJECT TITLE

**"SHELL BUILDING"**  
 RHODES MEADOW BUSINESS PARK

21631 RHODES ROAD  
 BUILDING "D"  
 SPRING, TX. 77338

1	06-20-2022	PERMIT DRAWINGS
---	------------	-----------------

PROJECT NO: 04292022

DRAWN BY: MJM

CHECKED BY: JP

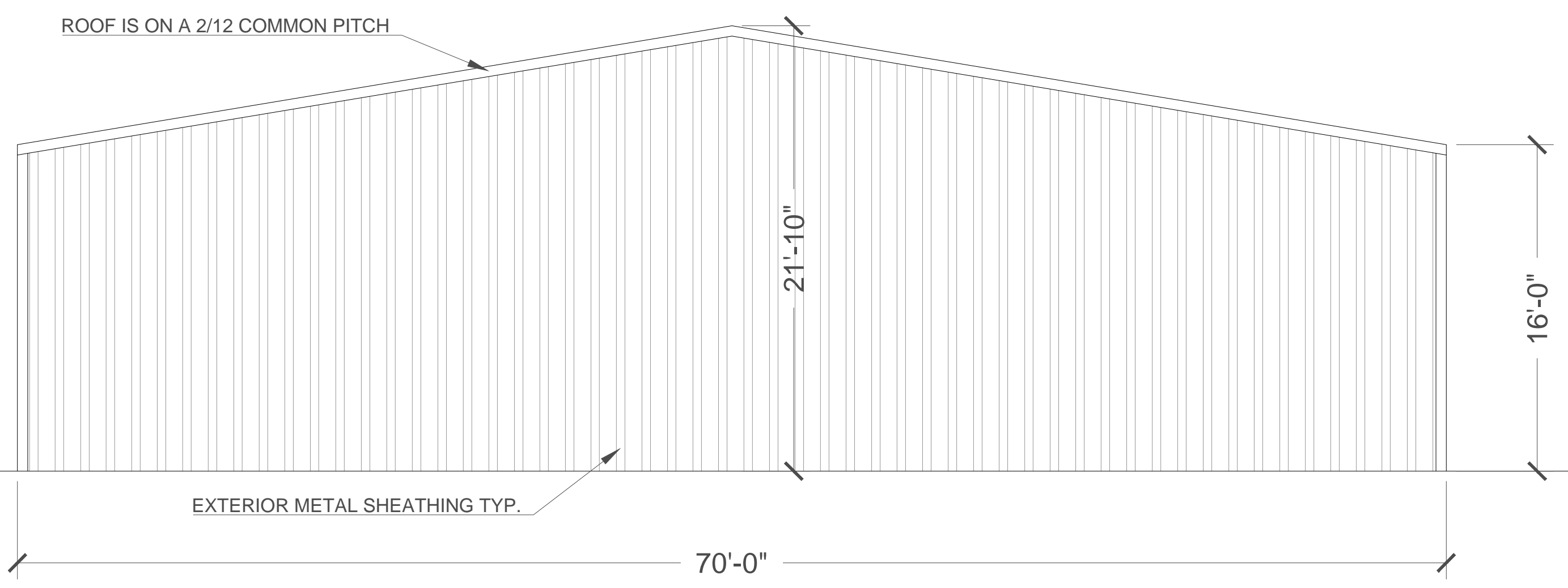
MALONEY SERVICES L.L.C. 2022. THIS OFFICE ASSUMES NO  
 LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL  
 INFORMATION MUST BE CONFIRMED PRIOR TO  
 COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND  
 BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND  
 MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED  
 STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN  
 FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE  
 GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE  
 CONSTRUCTED.

SHEET TITLE

**EXTERIOR  
 ELEVATIONS**

SHEET NUMBER

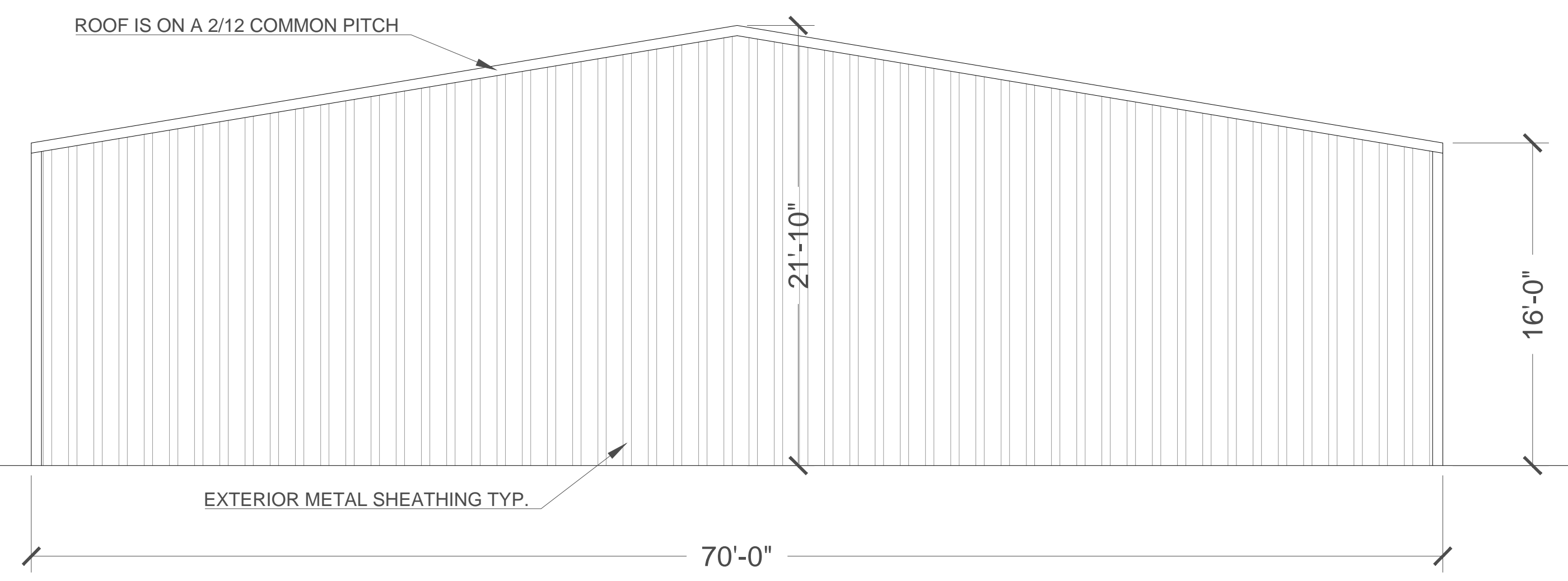
**A1.20**



WEST ELEVATION

SCALE: 3/16"=1'-0"

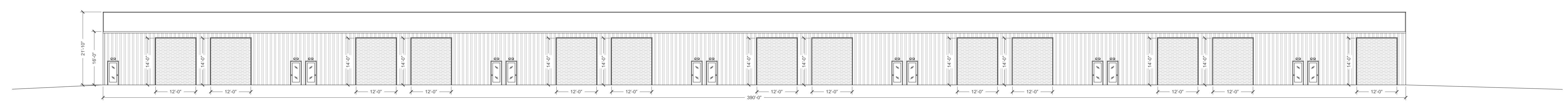
4



EAST ELEVATION

SCALE: 3/16"=1'-0"

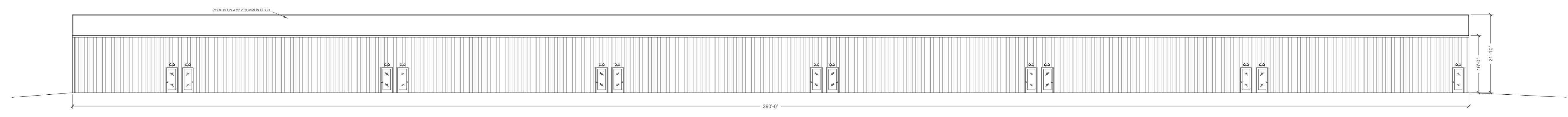
3



NORTH ELEVATION

SCALE: 1/16"=1'-0"

2



SOUTH ELEVATION

SCALE: 1/16"=1'-0"

1